



City Council Agenda

Thursday, June 12, 2025

6:00 PM

City Hall

Cell phones are to be turned off or placed on vibrate during the meeting. Please exit the Council Chambers before using your cell phone.

The agenda is prepared and distributed on Friday preceding the meeting to Council and news media. A work session is then held on the Tuesday preceding the regular meeting at 4:00 pm.

I. Call to Order

II. Pledge of Allegiance and Moment of Silent Prayer

III. Approval of Minutes

April 25, May 6, and May 8, 2025.

IV. Presentations

1. Presentation of a retirement plaque to Robin Hatley for 24 years of service to the City of Concord.

Robin began her career with the City of Concord in May 2001. She worked in the Customer Service Department assisting citizens with utility billing questions and concerns. She served customers as a walk in representative as well as through the call center. Robin worked with the fire administration department for one year as an Administrative Assistant as well. During that time, she decided her heart was with customer care and she transferred back to finish her career assisting citizens over the phone each day with our customer care team. She has worked a total of 24 years with the City supporting the citizens of Concord.

It's clear that Robin's authentic, down-to-earth, personality has been a cornerstone for her successful career, making her an ideal Customer Service Specialist. Robin is known for her ability to make anyone laugh. She can brighten the mood for anyone, whether it be a customer or colleague. We appreciate Robin for all that she has done through many years of loyal service with the City of Concord.

2. Presentation of a Proclamation recognizing June 16 - 22, 2025 as National Pollinator Week.

3. Presentation of a Proclamation recognizing Thursday, June 19, 2025, as Juneteenth.

4. Presentation from Miss Cabarrus County 2025, Jaime Logan.

5. Presentation from Mr. Robert Neal

V. Unfinished Business

VI. New Business

A. Informational Items

B. Departmental Reports

1. Parks and Recreation Bonds update

C. Persons Requesting to be Heard

D. Public Hearings

1. Conduct a public hearing to consider entering into a three-year/85% tax-based economic development grant agreement with TWG GM Performance Power Units, LLC to develop the project located at 7455 Valor Place NW, and 4540 Fortune Avenue NW, Concord, NC 28027, further identified as PIN#'s 4598-39-0082 and 5601-84-4740, having an investment of approximately \$140,000,000-\$155,000,000 in real and personal property.

This grant was previously approved on February 13, 2025 as two separate agreements (HSREI, LLC and Motorsport IP Acquisition Co. I, LLC). The summaries for the previous two grants are included for reference.

The purpose of this public hearing is to combine the two grant approvals from February 13, 2025, into one grant and to revise the ownership information. There is no change in the total investment amount or terms of the previously approved agreements. This notice of public hearing is pursuant to NC General Statutes Sec. 158-7.1.

Recommendation: Conduct a public hearing and consider offering a three-year/85% tax-based economic development grant to TWG GM Performance Power Units, LLC to 7455 Valor Place NW and 4540 Fortune Ave NW, Concord, NC 28027.

2. Conduct a public hearing pursuant to NC General Statutes Sec. 158-7.1 and consider offering a contract for a three-year / 85% tax based Municipal Service District Economic Development Incentive Grant to K & D Properties Union, LLC to locate at 37 Union Street S, Concord, NC.

K & D Properties Union, LLC is proposing an upfit to 37 Union Street S. within the geographic boundary of the Municipal Service District Economic Development Grant Program. The proposed project includes an upfit of approximately 7,000 SF of commercial space for food and mercantile use, a bar, and office spaces. K & D Properties Union, LLC's proposed investment, represents a total of approximately \$117,300 in real property within Concord's Municipal Service District. The improvements include electrical, plumbing work, exterior painting, roof replacement, and interior wall sealing. The total value of the city's three-year grant is estimated to equal \$1,734.87 based on an estimated investment of \$117,300. The actual payment will be based on the actual investment made by the company. The City of Concord would still collect a 3-year net revenue of \$306.15 after the incentive payment. See the attached grant analysis for additional details.

Recommendation: Conduct a public hearing and consider offering a contract for a three-year / 85% tax-based Economic Municipal Service District Economic Development Incentive Grant to K & D Properties Union, LLC to locate at 37 Union Street S, Concord, NC.

3. Conduct a public hearing and consider approving an annexation agreement with the Town of Harrisburg. Harrisburg staff contacted the City with an interest to enter into an annexation agreement, which is essentially a re-approval (with some revisions) to an agreement between the two jurisdictions, which expired in 2008 and was never renewed.

The proposed agreement is substantially similar to the previous, with some clarifications regarding provision of utilities. Management, Legal, Water Resources, Engineering, and Planning staff all worked closely with the Harrisburg staff. The Town of Harrisburg adopted the agreement on May 13, 2025. The public hearing has been advertised in accordance with GS 160A-58.24.

Recommendation: Conduct a public hearing and consider a motion to adopt the annexation agreement with the Town of Harrisburg.

4. Conduct a public hearing, pursuant to N.C. General Statutes, Section 159-12, to receive public comments relative to the proposed FY 2025-2026 budget for the City of Concord; following public comments, consider adopting the proposed FY2025-2026 Budget, and consider adopting the Cabarrus Arts Council portion of the External Agencies pursuant to NC General Statutes, Section 14-234.3.

The City Manager has submitted his recommended budget to the City Council for consideration. Before adopting the budget ordinance, Council must hold a public hearing. Once the Council holds the public hearing and considers input, it may adopt the budget ordinance at any time before the end of June 2025. The Cabarrus Arts Council portion of the External Agencies will be considered separately in order to comply with the requirements of NC General Statutes, Section 14-234.3.

Recommendation: Conduct a public hearing to solicit citizen input, consider adopting the FY 2025-2026 budget and consider adopting the Cabarrus Arts Council portion of the External Agencies.

E. Presentations of Petitions and Requests

1. Consider recognizing the Allen Mills Homeowners Association in the City's Partnership for Stronger Neighborhoods program.

Allen Mills HOA is a relatively new subdivision in Concord, developed in 2018. The community is located off Cox Mill Road. Officers for the Association are President Sriram Kandasamy, Vice President Bodhisattwa Dasgupta, Treasurer Rajesh Kumar Kamisetty, and Secretary Giridaran Sundararajan. They have submitted all the required documentation for recognition. If approved, the City will have a total of 80 recognized neighborhoods in the Partnership for Stronger Neighborhoods program.

Recommendation: Motion to approve the acceptance of Allen Mills Homeowners Association as a recognized neighborhood in the Partnership for Stronger Neighborhoods program.

2. Consider accepting recommendation that the City move forward with the development of the North Hangar Development and authorizing the issuance of Request for Statement of Qualifications (RFQ) for the Architectural and Engineering Services (A&E) for Community Corporate Hangar.

In 2018, the Federal Aviation Administration approved the Concord-Padgett Regional Airport Master Plan. The Plan at that time indicated an expansion of the General Aviation Apron along with a Corporate Hangar.

From 2021-2023, the Aviation Department, in collaboration with FAA and NCDOT-Aviation, have invested over \$5 million in grant funding for road access along with the expansion of the General Aviation Apron.

The Aviation Department issued a Request for Information (RFI) for Corporate Community Hangar Development in the Fourth Quarter of 2024. A total of five RFIs were received. Only one of the RFIs met the minimum criteria for the project. After extensive review and analysis, it is staff's recommendation that the City move forward with design/bidding and construction of the community corporate hangar based on recent significant funding opportunities. Current market demands indicate approximately 30,000-40,000 sq.ft. of aircraft storage along with vehicle parking and office space. The estimated cost for the project is \$15-20 million.

Recently, the Aviation Department has received confirmation that Bipartisan Infrastructure Law (BIL) funding for Hangars is eligible for grants. NCDOT-Aviation has also concurred NCAIP grants funding for Hangars are also permissible. The funding for the design-bidding phase will be from an NCDOT-Aviation grant.

Recommendation: Motion to accept staff's recommendation to move forward with the issuance of RFQ for A&E services - Corporate Community Hangar.

3. Consider awarding a bid and authorize the City Manager to execute a contract with Broadlinx Telecom Inc. to provide labor services for installation and maintenance of the City of Concord's Fiber Optic Network.

This work provides for the installation, removal, upgrade, and maintenance of fiber optic lines on an as-needed basis and includes but is not limited to installing/removing strand lash fiber, installing/removing down guys and anchors, installing aerial storage loops, underground directional boring, pulling fiber, and installing locate wires in conduit.

Bids were received on May 15, 2025 with Broadlinx Telecom Inc. submitting the lowest responsive bid. The contract term will run July 1, 2025 through June 30, 2026 and is not to exceed \$400,000 as approved in the FY26 budget.

Recommendation: Motion to award a bid and authorize the City Manager to execute a contract for Broadlinx Telecom Inc. to provide labor services for installation and maintenance of the City of Concord's fiber optic network not to exceed \$400,000.

4. Consider purchasing (6) six distribution padmount transformers from WESCO Distribution Inc. for general inventory stock.

Staff received a quote on May 23, 2025 through the SourceWell Cooperative Purchasing Agreement for electric materials for the purchase of (2) 1000 KVA, (2) 150 KVA, and (2) 1500 KVA distribution padmount transformers. WESCO Distribution Inc. submitted a total quote of \$279,158 for the six transformers manufactured by Hitachi Energy USA Inc. All bidding requirements have been met through the SourceWell Cooperative Purchasing Agreement.

Recommendation: Motion to purchase 6 distribution padmount transformers in the amount of \$279,158 from WESCO Distribution Inc. using the SourceWell Cooperative Purchasing Agreement for general inventory stock.

5. Consider entering into an Agreement with the North Carolina Department of Transportation (NCDOT) in order to install roadway lighting at the I-85 and Kannapolis Pkwy/George W Liles Pkwy interchange.

In September 2024, City Council passed a resolution in support of NCDOT's project to modify the I-85 and Kannapolis Pkwy/George W Liles Pkwy interchange to install roadway lighting. NCDOT has now developed agreements asking for Concord and Kannapolis each to commit to providing one half of the non-federal match. The City of Concord would commit to \$66,666 (half) of the \$133,332 non-federal match. NCDOT, through federal and state funding will provide the remaining \$866,668, plus all costs that exceed the \$1,000,000 total project estimate.

Recommendation: Motion to consider entering into an Agreement with the North Carolina Department of Transportation (NCDOT) in order to install roadway lighting at the I-85 and Kannapolis Pkwy/George W Liles Pkwy interchange.

6. Consider awarding the total bid for the City of Concord's annual street preservation program to Ferebee Corporation.

One of Council's continuing goals is to improve the service levels and delivery of the City's annual street preservation program. Powell Bill receipts and General Fund revenues are being used to fund this work by contracted forces. Formal bids for this work were due May 6th, 2025 with Ferebee Corporation submitting the lowest total bid in the amount of \$4,972,499.95. Work such as patching, leveling, milling, resurfacing, re-striping, re-marking, and re-installation of permanent raised pavement markings work on 17.33 lane miles of designated streets and 2,000 tons of patching on other City infrastructure will be performed. Contract Final Completion date is 180 days from the Notice to Proceed.

Recommendation: Motion to authorize the City Manager to negotiate and execute a contract with Ferebee Corporation in the amount of \$4,972,499.95 for the City of Concord's annual streets preservation program.

7. Consider adopting an ordinance amendment to align the methods of service provisions within the City Code with the permissible methods of service allowed by the General Statutes.

This ordinance will provide code enforcement officers with additional means by which to obtain service and will apply the same service standards to all code enforcement cases.

Recommendation: Motion to consider adopting an ordinance amending a portion of Chapter 1, General Provisions, and Chapter 14, Building and Building Regulations, of the Concord Code of Ordinances.

8. Consider adopting an ordinance amending the City of Concord Code of Ordinances, Chapter 62, Water and Wastewater Utilities; Article IV; Section 62-132(a)(2); Volume charges and Article V; Section 62-161; Cross-connection control.

Article IV; Section 62-132(a)(2); Subsection (a)(1) includes the establishment of the residential block levels for the conservation water rate structure. Along with the adoption of the new fee schedule for FY26, this change is needed to provide consistency for the changing tier limits. The changes are below.

- i. Block 1. A Block 1 rate shall apply to customers that have zero to ~~6,000~~ 3,000 gallons pass through the water meter during the billing cycle.
- ii. Block 2. A Block 2 rate shall apply to customers that ~~are~~ have ~~6,001~~ 3,001 to 8,999 gallons pass through the water meter during the billing cycle.

Article V; Section 62-161; Subsection(f)(11&12) provides inspection requirements for backflow devices and repair timelines for failed inspections. The proposed changes are below.

(11) Each backflow prevention assembly that is required must function properly at time of installment. Each customer will be required to test, maintain, and repair each assembly required which is a part of the customer's private water system. A certified backflow prevention technician may only conduct such test. Testing shall be done immediately following installation of any backflow prevention assembly and on an annual basis ~~or semiannual depending the degree of hazard~~ except residential irrigation assemblies. Residential irrigation assemblies must be tested immediately after installation and every three years thereafter.

(12) If repair is found necessary on an assembly it must be repaired within 30 days and retested. ~~be retested following any repair.~~ A complete duplicate copy of any testing and/or repair shall be sent to the City within 30 days of completion of test or repair. Each customer must maintain a complete copy of test or repair. Each customer must maintain a complete copy of any test or repair for no less than five years. All test and repair records must be maintained on forms approved by the Backflow Administrator of the City.

Recommendation: Motion to adopt an ordinance amending the City of Concord Code of Ordinances, Chapter 62, Water and Wastewater Utilities; Article IV; Section 62-132(a)(2); Volume charges and Article V; Section 62-161; Cross-connection control.

9. Consider authorizing the City Manager to negotiate and execute a water sales contract extension (Addendum 5) with the Town of Harrisburg for continued treated water sales to the Town of Harrisburg.

The jurisdictions have agreed on a 5 year extension term while capping the water available at 2 million gallons per day. The agreement also raises the take or pay amount and attaches an adopted volumetric water rate to to be applied if overages occur. Harrisburg has stated they are in negotiations with Charlotte Water for additional water needs. The Harrisburg Town Council has approved the agreement.

Recommendation: Motion to authorize the City Manager to negotiate and execute the water sales contract extension (Addendum 5) with the Town of Harrisburg for continued treated water sales to the Town of Harrisburg.

10. Consider adopting changes to the City of Concord's Sewer Allocation Policy.

The proposed changes to the Sewer Allocation Policy addresses general changes prompted by changes in NC State Bill 382 and modifies Section 4 of the policy. The revised changes provide further clarification about the attributes of a project and more accurately describe the process as fact finding as it relates to allocation. The majority of the facts will be reported out in a "Yes or No" manner.

Recommendation: Motion to adopt changes to the City of Concord's Sewer Allocation Policy.

11. Consider accepting a preliminary application from Dustin McDonald.

In accordance with City Code Chapter 62, Dustin McDonald has submitted a preliminary application to receive water service outside the City limits. The property is located at 5097 Flowes Store Rd., Concord NC. This 1.13 acre parcel is zoned county LDR and is located within Area B. There is an existing single family home on this property. Sewer is not available to the parcel.

Recommendation: Motion to accept the preliminary application and have the owner proceed to the final application phase excluding annexation.

12. Consider making appointments / reappointments to various City of Concord Boards and Commissions and a reappointment to the CDDC Board of Directors.

Attached, for reference, is a list of Board and Commission appointments for the City of Concord. This list notes the members that have expiring terms and can or cannot be reappointed.

Recommendation: Motion to make appointments/reappointments to various Boards and Commissions and a reappointment to the CDDC Board of Directors.

VII. Consent Agenda

A. Consider approving three additional "Personal Days Off" to be raffled for the Cabarrus County Meals on Wheels volunteering event.

The City's internal Giving Committee coordinates various events throughout the year to provide opportunities for employees to raise funds or provide services for charitable causes. One activity that the committee has found to be successful over the years is a "Personal Day Off Raffle", providing the winning employees with an extra personal day off to be used by June 30, 2026. The committee is planning a volunteering event where coworkers volunteer time with Cabarrus Meals on Wheels and are then entered into a raffle to win one personal day off. The Giving Committee is requesting Council allow three "Personal Day Off" raffles to occur. A coworker can only win one of the raffles, but this allows for three raffle winners across the entirety of the volunteering event.

Recommendation: Motion to approve three personal days off as a benefit to three employees (one per employee), to be used by June 30, 2026.

B. Consider consenting to the sale of the real property located at 436 Rutherford Street, SW and authorize the City Manager to countersign the deed to evidence such consent in the public record.

In 1957, Mrs. Brown sold some property to the American Legion (deed attached). For unknown reasons, the deed states that if the Legion ever sells the property, they are required to obtain the consent of the governing body of the City of Concord. American Legion Post 172 would like to convey 436 Rutherford

Street, SW to a church. The closing attorney, Pamela Enriken, has asked that the City countersign the deed to the church to evidence its consent to the conveyance.

Recommendation: Motion to consent to the sale of the real property located at 436 Rutherford Street, SW and authorize the City Manager to countersign the deed to evidence such consent in the public record.

C. Consider abandoning a portion of an existing easement across property at Lot 2 Lands N/F Christenbury Investors, LLC (Tax Parcel ID 4589-17-9961).

There is an existing water easement recorded in Map Book 101 Pages 48-61. The on-site, privately owned and maintained retaining wall influence zone encroached into the current waterline utility easement. To avoid conflict with the wall geogrid or influence zone, it was determined that the easement could be reduced and still allow for proper maintenance activities to occur on the publicly owned waterline.

Recommendation: Motion to approve the attached resolution authorizing the abandonment of an easement.

D. Consider authorizing the City Manager to negotiate and execute second amendment to the existing Project-Based Voucher (PBV) Housing Assistance Payments (HAP) contract with Logan Gardens, LLC.

The proposed amendment includes two key changes to the current HAP contract with Logan Gardens, LLC, for Villas at Logan Gardens, located at 210 Booker Dr SW in Concord, NC. Villas at Logan Gardens is an affordable housing community serving older adults.

The eligibility criteria will be modified to allow households where the head of household (including co-head), spouse, or sole member is a person who is at least 62 years of age. The current eligibility criteria states that all members of the household must be 62 years of age or older.

The other contract update will reflect that up to forty-four units (31 one-bedroom and 11 two-bedroom units) will be designated as Project-Based Voucher (PBV) units rather than requiring that all forty-four units be covered under the HAP contract. These adjustments are intended to expand access, increase program flexibility, and ensure continued compliance with HUD regulations. The PBV program plays a critical role in providing rental assistance to eligible low-income households, and approval of this amendment will help further the City's commitment to addressing affordable housing needs and supporting stable housing options for Concord's aging population.

Recommendation: Motion to authorize the City Manager to negotiate and execute a second amendment to the current Housing Assistance Payments (HAP) contract with Logan Gardens, LLC, for the Section 8 Project-Based Voucher (PBV) Program to incorporate programmatic and contractual updates as recommended by the Housing Department.

E. Consider authorizing the City Manager to execute an amendment to the City Grant Agreement with Rebuilding Together of Greater Charlotte (March 2024) for re-allocation of the cash donation portion of the awarded Republic Services National Neighborhood Promise Project grant (total of \$150,000), to two new projects.

Rebuilding Together of Greater Charlotte presented a collaborative project grant to Planning and Neighborhood Development and ClearWater in March 2024. The Republic Services National Neighborhood Promise Project Program supports nationwide volunteer projects, monetary donations, and in-kind services to revitalize communities and enhance quality of life. Rebuilding Together proposed a selection of City projects committing to a concentration on community arts enriching quality of life and was awarded \$150,000 to coordinate efforts at the ClearWater Arts site. This award and its

collaboratively determined project breakouts and budgets were approved by the Council in March 2024 and set into the resulting Donation Agreement.

The in-kind portion of the grant-funded projects have been completed:

- 1) At a Participation and Engagement Workday held on September 26, 2024, more than 70 employee volunteers from Concord's Republic Services team contributed their time to build picnic tables and cornhole boards, mulch planting areas, and paint interior walls. During two additional workdays organized by Rebuilding Together, volunteers built a totem pole sign, painted large sign pipe frames and garbage corral doors, completed the interior wall painting, and constructed benches. They also stained the timber roof structure and railings of the new patio.
- 2) Gifts procured and received: a raku kiln to expand community ceramic workshops and two large 'butterfly benches' for the planned Sculpture Garden.
- 3) Artist, Jonathan Grauel was selected and commissioned with the \$20,000 Mural budget and completed his 93' mural in March. It was dedicated in a ceremony on April 24, 2025.
- 4) One bus shelter on Cedar Street was built, to be reimbursed by cash supplements as planned.

Cash supplements to be donated will be used for: a) trees, shrubs, soil and ground cover for the sculpture garden, and b) a stage area for the sculpture garden; but item c) is hereby re-allocated from former, "c) cash supplement and/or potential in-kind construction to build and install covered seating for (3) bus stops," and is amended to: c) a public art project for the new bus shelter and d) a public art project for ClearWater's parking lot. The reason for the change is due to two of the three intended bus shelters were impeded by logistics; one site is owned by WeBuild Concord, which had a bus shelter of their own design approved in Accela; the other is situated too close to ClearWater's Ceramics building to accommodate the footprint required. Accordingly, the new projects were discussed with Rebuilding Together and approved for use of the cash donation.

Recommendation: Motion to authorize the City Manager to approve an amendment to the existing City Grant Agreement with Rebuilding Together of Greater Charlotte, to acknowledge completion of the declared in-kind services, and to accept the remainder of funds awarded by the Republic Services National Neighborhood Promise Project grant (\$74,250), to amend the three (3) bus shelters to one (1), plus the following projects in lieu of two (2) of the bus shelters: a) a public art project for the completed bus shelter on Cedar Street and b) a public art project to be placed on large retaining wall in the parking lot directly across the street from the main entrance of the ClearWater Arts Center.

F. Consider accepting an Offer of Dedication of utility easements and public rights-of-ways in various subdivisions.

In accordance with CDO Article 5, the following final plat and easements are now ready for approval: Minor Division Cathy Paxton Tract and McGrath Rentcorp Storage Facility. Various utility easements and public rights-of-ways are offered by the owners.

Recommendation: Motion to accept the offer of dedication on the following plat and easements: Minor Division Cathy Paxton Tract and McGrath Rentcorp Storage Facility.

G. Consider accepting an offer of infrastructure at Cabarrus County EMS Headquarters, Old Charlotte Road Waterline Replacement, and Coltrane-Webb/Beverly Hills Elementary School Replacement.

In accordance with CDO Article 5, improvements have been constructed in accordance with the City's regulations and specifications. The following are being offered for acceptance: 1474 LF of 14-inch water line, 3 valves (14-inch), 22 LF of 8-inch water line, 2 valves(8-inch), 8 LF of 4-inch water line, 2 valves(4-inch), 2 Hydrants, 1165 LF of 8-inch Sanitary Sewer, and 15 Manholes.

Recommendation: Motion to accept the offer of infrastructure acceptance in the following subdivisions and sites: Cabarrus County EMS Headquarters, Old Charlotte Road Waterline Replacement, and Coltrane-Webb/Beverly Hills Elementary School Replacement.

H. Consider accepting an offer of infrastructure at Charlotte Motor Speedway Road Course, Hwy 24-27 Midland Crossroads Sewer, R. Brown McAllister STEM Elementary School, Travis Ln. Sewer Extension, Christenbury Village Phase 4-Bldg 1 lot 1, and Oaklawn Townhomes (Roadway Acceptance: PH 1 MPs 1 and 2; PH2; PH3).

In accordance with CDO Article 5, improvements have been constructed in accordance with the City's regulations and specifications. The following are being offered for acceptance: 283 LF of 8-inch water line, 5 valves(8-inch), 15 LF of 4-inch water line, 2 valves(4-inch), 2992 LF of 8-inch Sanitary Sewer and 16 Manholes. Roadway acceptance: 1877.23 LF - Oaklawn Blvd; 201.82 LF - Mack Way; 305.22 LF - Lilles Way; 169.27 LF - Bridgeford Drive NW; 976.10 LF - Violets Dream.

Recommendation: Motion to accept the offer of infrastructure acceptance in the following subdivisions and sites: Charlotte Motor Speedway Road Course, Hwy 24-27 Midland Crossroads Sewer, R. Brown McAllister STEM Elementary School, Travis Ln. Sewer Extension, Christenbury Village Phase 4-Bldg 1 lot 1, and Oaklawn Townhomes (Roadway Acceptance: PH 1 MPs 1 and 2; PH2; PH3).

I. Consider approving a donation of \$1,500 from the Mayor's Golf Tournament Fund to The Big E-The Elephant in the Room Life Changers, Inc. and adopt a budget ordinance appropriating the donation.

If approved, the funds will be used to assist with community events such as the Suicide Awareness 5K Walk/Run in Cabarrus County, Back to School, and the Healthy Food Harvest.

Recommendation: Motion to approve a donation in amount of \$1,500 from the Mayor's Golf Tournament Fund to The Big E-The Elephant in the Room Life Changers, Inc. and adopt a budget ordinance appropriating the donation.

J. Consider adopting an American Rescue Plan Fund grant project budget amendment.

All projects in this fund are now complete. The attached budget amendment transfers the remaining funds to other funds where they will be spent. Of the remaining \$238,471 in the fund, \$55,000 will be transferred to the Municipal Service District Fund to cover the expenses associated with the Streetscape Grand Opening Block Party event. The rest of the funds will be transferred to the General Fund Capital Project Fund to cover expenses associated with implementation of employee survey items.

Recommendation: Motion to adopt an American Rescue Plan Fund grant project budget amendment.

K. Consider approval of the 2025 Capital Fund Grant from HUD and Adoption of Budget Ordinance.

The City of Concord Housing Department has been awarded a 2025 Capital Fund Grant from the U.S. Department of Housing and Urban Development (HUD) in the amount of \$496,950. The grant will assist the Housing Department in carrying out development, capital improvements, and management activities to ensure the continued service of safe and sustainable housing for low-income families.

Recommendation: Motion to accept the 2025 Capital Fund Grant from HUD and adopt the corresponding budget ordinance in the amount of \$496,950.

L. Consider adopting an ordinance to amend the Regional Airport Fund operating budget to adjust budget to year end actual projections.

The attached budget ordinance adjusts the Regional Airport Fund budget to year end projections.

Recommendation: Motion to adopt an ordinance to amend the Regional Airport Fund operating budget to adjust budget to year end actual projections.

M. Consider adopting an ordinance to amend the Golf budget to adjust budget to year end actual projections.

The attached budget amendment adjusts the Golf budget to year end projections.

Recommendation: Motion to adopt an ordinance to amend the Golf budget to adjust budget to year end actual projections.

N. Consider adopting three ordinances to amend the Municipal Service District Fund, FSS Escrow Forfeitures Fund, and Emergency Housing Vouchers Fund operating budgets to adjust budgets to year end actual projections.

The three attached budget ordinances adjust the Municipal Service District Fund, FSS Escrow Forfeitures Fund, and Emergency Housing Vouchers Fund budgets to year end projections.

Recommendation: Motion to adopt three ordinances to amend the Municipal Service District Fund, FSS Escrow Forfeitures Fund, and Emergency Housing Vouchers Fund operating budgets to adjust budgets to year end actual projections.

O. Consider adopting an ordinance to amend the Public Housing Operations Fund budget.

The attached budget ordinance adjusts the budget to year end projects.

Recommendation: Motion to adopt an ordinance to amend the Public Housing Operations Fund budget.

P. Consider adopting four ordinances to amend the Stormwater Fund, Electric Fund, Water Fund, and Wastewater Fund operating budgets to adjust budgets to year end actual projections.

The four attached budget ordinances adjusts the Stormwater Fund, Electric Fund, Water Fund, and Wastewater Fund budgets to year end projections.

Recommendation: Motion to adopt four ordinances to amend the Stormwater Fund, Electric Fund, Water Fund, and Wastewater Fund operating budgets to adjust budgets to year end actual projections.

Q. Consider adopting an ordinance to amend the General Capital Project fund budget to cleanup various project budgets.

The attached budget amendment adjusts projects to actuals and allocates additional funds to various projects.

Recommendation: Motion to adopt an ordinance to amend the General Capital Project fund budget to cleanup various project budgets.

R. Consider adopting an ordinance to amend the Internal Service Fund budget to year end actual projections.

The attached budget ordinance amendment adjusts the Internal Service Fund budget to year end projections.

Recommendation: Motion to adopt an ordinance to amend the Internal Service Fund budget to year end actual projections.

S. Consider adopting an ordinance to amend the Airport Capital Project fund budget to cleanup various project budgets.

The attached budget ordinance amendment adjusts the budget for various projects based on actuals or updated estimates.

Recommendation: Motion to adopt an ordinance to amend the Airport Capital Project fund budget to cleanup various project budgets.

T. Consider adopting an Electric Project Fund project budget amendment.

Electric and finance staff reviewed current projects and the allocation of funding among the projects. After review, it was determined that funding should be reallocated from projects that had savings to other projects.

Recommendation: Motion to adopt an Electric Project Fund project budget amendment.

U. Consider adopting an ordinance to amend the Fire project budget.

The attached budget ordinance adjusts the FS10 budget to actual expenditures since the project is now complete and allocates investment earnings as of 6/30/24. These funds are being moved to the future projects account and will be used in FY26 for the SCBA equipment replacement project.

Recommendation: Motion to adopt an ordinance to amend the Fire project budget.

V. Consider adopting ordinances to amend the Parks Capital Reserve Fund and Parks Capital Project Fund project budget.

The attached budget ordinances include transferring \$71,500 from the Parks Capital Reserve Fund to the Parks Capital Project Fund for McEachern bridge repairs and transferring \$104,818 from the Parks Capital Reserve Fund to the Parks Capital Project Fund to replace the boardwalk at Moss Creek. Also included in the Parks Capital Project Fund budget amendment is the transfer of \$300,000 from Ramseur Park to Hartsell Park for the replacement of the bathroom damaged by fire.

Recommendation: Motion to adopt ordinances to amend the Parks Capital Reserve Fund and Parks Capital Project Fund project budget.

W. Consider adopting an ordinance to amend the Utility Capital Reserve Fund project budget.

The attached budget amendment increases the electric capital reserve for a \$2.5M transfer from operations that is included in the year end projections.

Recommendation: Motion to adopt an ordinance to amend the Utility Capital Reserve Fund project budget.

X. Consider adopting an ordinance to amend the Wastewater project budget.

The attached budget ordinance adjusts the Grounds Sewer Phase 1 budget to actual expenditures since the project is now complete and allocates these funds are being moved to the future projects account.

Recommendation: Motion to adopt an ordinance to amend the Wastewater project budget.

Y. Consider adopting the 3% adjustment to the Compensation Plan Grade Assignments, for FY26 (effective June 8, 2026).

In order to remain competitive in the ability to attract well qualified candidates, staff recommends a 3% overall increase to the Compensation Plan Grade Assignments in FY26. This adjustment will be made at the minimums, midpoints, & maximums in the structure to maintain forward movement in the workforce marketplace. An overall 3% adjustment would also apply to Mayor and Council salaries with the same effective date of this adjustment.

Recommendation: Motion to adopt the 3% adjustment to the Compensation Plan Grade Assignments for FY26 (effective June 8, 2026).

Z. Consider adopting the 3% cost of living adjustment to the Compensation Plan Grade Assignments, for FY26 (effective June 22, 2026).

In order to remain competitive in the ability to retain employees, staff recommends a 3% overall cost of living adjustment (COLA) in FY26. This adjustment will be provided to employees hired on or before June 22, 2026. A 3% adjustment would also apply to Mayor and Council salaries with the same effective date of this adjustment.

Recommendation: Motion to adopt the 3% cost of living adjustment to the Compensation Plan Grade Assignments.

AA. Consider adopting the 1.5% career development increase, effective FY26.

In order to promote and support the City's Personnel Policies and Procedures, the City is committed to supporting the enhancement of the coworkers' knowledge, skills and competencies in their individual career paths, by offering Career Development.

Recommendation: Motion to adopt the 1.5% Career Development Program for FY26 (effective July 1, 2025).

BB. Consider approving a change to the classification/compensation system to include the following classification: Aviation Operations Supervisor.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Aviation Operations Supervisor (Grade 60) with a salary range of \$78,086.91 (minimum) - \$103,465.15 (midpoint) - \$128,843.39 (maximum).

CC. Consider approving a change to the classification/compensation system to include the following classification: CAD Technician II.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the CAD Technician II (Grade 59) with a salary range of \$72,302.69 (minimum) - \$95,801.07 (midpoint) - \$119,299.44 (maximum).

DD. Consider approving a change to the classification/compensation system to include the following classification: Cemetery Maintenance Worker II.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Cemetery Maintenance Worker II (Grade 52) with a salary range of \$42,187.93 (minimum) - \$55,899.01 (midpoint) - \$69,610.08 (maximum).

EE. Consider approving a change to the classification/compensation system to include the following classification: Construction Inspector II.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Construction Inspector II (Grade 59) with a salary range of \$72,302.69 (minimum) - \$95,801.07 (midpoint) - \$119,299.44 (maximum).

FF. Consider approving a change to the classification/compensation system to include the following classification: Electrical Engineering Technician II.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Electrical Engineering II (Grade 59) with a salary range of \$72,302.69 (minimum) - \$95,801.07 (midpoint) - \$119,299.44 (maximum).

GG. Consider approving a change to the classification/compensation system to include the following classification: Electric Education Coordinator.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Electric Education Coordinator (Grade 55) with a salary range of \$53,144.64 (minimum) - \$70,416.65 (midpoint) - \$87,688.65 (maximum).

HH. Consider approving a change to the classification/compensation system to include the following classification: Meter Technician Supervisor.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Meter Technician Supervisor (Grade 59) with a salary range of \$72,302.69 (minimum) - \$95,801.07 (midpoint) - \$119,299.44 (maximum).

II. Consider approving a change to the classification/compensation system to include the following classification: Survey Technician III.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Survey Technician III (Grade 58) with a salary range of \$66,946.94 (minimum) - \$88,704.69 (midpoint) - \$110,462.44 (maximum).

JJ. Consider approving a change to the classification/compensation system to include the following classification: Water Treatment Manager.

The addition of this new classification will increase the ability to attract and retain employees and provide enhanced expertise for the City of Concord.

Recommendation: Motion to approve the addition of the Water Treatment Manager (Grade 64) with a salary range of \$106,236.37 (minimum) - \$140,763.20 (midpoint) - \$175,290.02 (maximum).

KK. Consider approving a change to the classification/compensation system to include the following classification: Temporary Meter Technician Part Time.

The addition of this new classification is needed on an intermittent basis for a specified time/project for the City of Concord.

Recommendation: Motion to approve the addition of the Temporary Meter Technician Part Time (Grade T53) with a salary range of \$45,562.96 (minimum) - \$60,370.92 (midpoint) - \$75,178.88 (maximum).

LL. Consider a revision to Article 4.3 Employment Types of the City's Personnel Policies and Procedures.

Staff recommends approving a revision to Article 4.3 Employment Types of the City's *Personnel Policies and Procedures* to clearly define and standardize the categories of employment, ensuring the consistency in the benefits eligibility and administrative procedures.

Recommendation: Motion to approve the revision of Article 4.3 Employment Types Policy of the City's Personnel Policies and Procedures.

MM. Consider adopting a resolution to transfer delinquent Public Housing accounts to collection losses.

Several former residents of Public Housing units have vacated their units with outstanding account balances. Despite multiple collection attempts by the Housing Department, these balances remain unpaid. Adoption of this resolution will authorize the City to formally transfer these delinquent accounts to collection losses. The Housing Department will continue efforts to recover the outstanding amounts.

Recommendation: Motion to adopt a resolution authorizing the transfer of delinquent Public Housing Unit accounts totaling \$17,631.17 to collection losses, with continued efforts to recover the outstanding balances.

NN. Consider adopting a resolution to transfer delinquent Market Rate housing accounts to collection losses.

Several former residents of Market Rate Units have vacated their units with outstanding account balances. Despite multiple collection attempts by the Housing Department, these balances remain unpaid. Adoption of this resolution will allow the City to formally transfer these delinquent accounts to collection losses. Efforts to recover the outstanding amounts will continue.

Recommendation: Motion to adopt a resolution authorizing the transfer of delinquent Market Rate Unit accounts totaling \$989.73 to collection losses, with continued efforts to recover the outstanding balances.

OO. Consider approving the transfer of delinquent miscellaneous receivables to collection losses.

In preparation for year-end closing of the accounting records and preparing for the annual independent audit, staff must review accounts receivable balances to determine if any balances are uncollectable. The accounts that are deemed uncollectable should be transferred to collection losses. Miscellaneous receivables that have been classified as uncollectable amount to \$103,508.73. Staff continues to work with legal to pursue collection methods available as well as using the Debt Setoff Program offered through the State and a private contract for collections.

Recommendation: Motion to approve the transfer of delinquent miscellaneous receivables to collection losses.

PP. Consider acceptance of the Tax Office reports for the month of April 2025.

The Tax Collector is responsible for periodic reporting of revenue collections for the Tax Collection Office.

Recommendation: Motion to accept the Tax Office collection reports for the month of April 2025.

QQ. Consider Approval of Tax Releases/Refunds from the Tax Collection Office for the month of April 2025.

G.S. 105-381 allows for the refund and/or release of tax liability due to various reasons by the governing body. A listing of various refund/release requests is presented for your approval, primarily due to overpayments, situs errors, and/or valuation changes.

Recommendation: Motion to approve the Tax releases/refunds for the month of April 2025.

RR. Receive monthly report on status of investments as of April 30, 2025.

A resolution adopted by the governing body on 12/9/1991 directs the Finance Director to report on the status of investments each month.

Recommendation: Motion to accept the monthly report on investments as of April 30, 2025.

VIII. Matters not on the Agenda

- Transportation Advisory Committee (TAC)
- Metropolitan Transit Committee (MTC)
- Concord/Kannapolis Transit Commission
- Centralina Regional Council
- Water Sewer Authority of Cabarrus County (WSACC)
- WeBuild Concord
- Public Art Commission
- Concord United Committee

X. General Comments by Council of Non-Business Nature

XI. Closed Session (If Needed)

XII. Adjournment

*IN ACCORDANCE WITH ADA REGULATIONS, PLEASE NOTE THAT ANYONE WHO NEEDS AN ACCOMMODATION TO PARTICIPATE IN THE MEETING SHOULD NOTIFY THE CITY CLERK AT (704) 920-5205 AT LEAST FORTY-EIGHT HOURS PRIOR TO THE MEETING.

February 13, 2025 Grant Approvals

HSREI, LLC

Under the North Carolina General Statutes, City Council may offer incentives to stimulate private sector expansion of new facilities. HSREI, LLC, proposes to develop another building at the Advanced Manufacturing Center (AMC) on 10 acres adjacent to Hendrick Motorsports campus. Comprising of \$65-70 million dollars of high-quality construction, the building design will attract a premier manufacturing tenant. The building design will be constructed with tilt-up concrete walls, including glass and metal accents. The 204,045 SF facility features two stories and is completely air-conditioned for precision work. There will be gated access and ample staff and visitor parking leading to the storefront entry, which opens to a class-A office and meeting space inside. The production floor is equipped with high illumination levels, pneumatic supply ports and robust electrical service. Fiber optic will feed the data center, covered by redundant cooling and power, for a clear path to digitally empowered manufacturing. HSREI, LLC proposes to invest approximately \$65,000,000.00-\$70,000,000.00 in real property. The total value of the City's three-year/85% grant is estimated to equal \$696,150.00 depending on the actual investment. The City of Concord would still collect a three-year net revenue of \$122,850.00 after the incentive payments. Please see the attached grant analysis for additional details.

Recommendation: Conduct a public hearing and consider offering a contract for a three-year/85% tax-based Economic Development Grant to HSREI, LLC to locate at 4295 Defender Way, Concord, North Carolina 28027.

Motorsport IP Acquisition Co. I, LLC

Conduct a public hearing pursuant to North Carolina General Statutes Sec. 157-7.1 to consider granting a three-year/85% tax-based economic industrial spec grant to Motorsport IP Acquisition Co. I, LLC to locate at 4295 Defender Way, Concord, NC 28027 and 4540 Fortune Ave NW, Concord, NC 28027. The project will have an investment of approximately \$75,000,000.00 to \$85,000,000.00 in personal property investment.

Under the North Carolina General Statutes, City Council may offer incentives to stimulate private sector expansion of new facilities. Motorsport IP Acquisition Co. I, LLC proposes to develop a site to support the development of the power unit (engine) for the Cadillac F1 vehicle. This project aims to design and test a state-of-the-art engine capable of meeting Formula 1's rigorous performance and efficiency standards. With an ambitious timeline, the goal is to have the engine ready for integration into a vehicle by 2028, ensuring Cadillac's competitive debut in Formula 1. It is anticipated that construction would commence in the First Quarter of 2025, with occupancy in the First Quarter of 2027. The project would involve significant investment in new manufacturing, R&D and information technology equipment and the hiring of 300 to 350 highly skilled employees in manufacturing, engineering and research and development with an average wage of \$100,000.00 to \$125,000.00 per year. In order to facilitate an accelerated project timeline and the need to construct a new facility in North Carolina to accommodate the project, it is anticipated that initial operations will occur at an existing General Motors facility in Concord, NC located at 4540 Fortune

Way NW, until the new facility at 4295 Defender Way is constructed. The total value of the City's three-year/85% grant is estimated to equal \$655,988.00 depending on the actual investment. The City of Concord would still collect a three-year net revenue of \$115,763.00 after the incentive payments. Please see the attached grant analysis for additional details.

Recommendation: Conduct a public hearing and consider offering a contract for a three-year/85% tax-based Economic Development Grant to Motorsport IP Acquisition Co. I, LLC to locate at 4295 Defender Way, Concord, North Carolina 28027 and 4540 Fortune Ave NW, Concord, NC 28027.

Project Toolbox
(\$75M personal property investment; \$65M real property investment)



City of Concord Economic Development Grant Analysis

		Year 1	Year 2	Year 3
Total Assessed Value (Real)		\$65,000,000	\$65,000,000	\$65,000,000
Total Assessed Value (Personal)		\$67,500,000	\$61,500,000	\$54,750,000
	\$75,000,000.00	\$67,500,000	\$61,500,000	\$54,750,000
City taxes at .42		\$556,500	\$531,300	\$502,950
Grant @ 85 %		\$473,025	\$451,605	\$427,508
Net Taxes to City		\$83,475	\$79,695	\$75,443
Taxes				\$ 1,590,750
Grant				\$ 1,352,138
Net Taxes to City				\$ 238,613

(\$85M personal property investment; \$70M real property investment)

City of Concord Economic Development Grant Analysis

		Year 1	Year 2	Year 3
Total Assessed Value (Real)		\$70,000,000	\$70,000,000	\$70,000,000
Total Assessed Value (Personal)		\$76,500,000	\$69,700,000	\$62,050,000
	\$85,000,000.00	\$76,500,000	\$69,700,000	\$62,050,000
City taxes at .42		\$615,300	\$586,740	\$554,610
Grant @ 85 %		\$523,005	\$498,729	\$471,419
Net Taxes to City		\$92,295	\$88,011	\$83,192
Taxes				\$ 1,756,650
Grant				\$ 1,493,153
Net Taxes to City				\$ 263,498

Project Name: Local Bottle Shop

City of Concord Economic Development Grant Analysis



			Year 1	Year 2	Year 3
Total Assessed Value			\$117,300.00	\$117,300.00	\$117,300.00
City taxes at .42 (+.16 MSD) = .58			\$ 680.34	\$ 680.34	\$ 680.34
Grant @ 85 %			\$ 578.29	\$ 578.29	\$ 578.29
Net Taxes to City			\$ 102.05	\$ 102.05	\$ 102.05
					3 year taxes
					\$ 2,041.02
					3 year grant
					\$ 1,734.87
					3 year net revenue
					\$ 306.15

This document is for calculation purposes only. The numbers computed here are estimated based on general assumptions provided by the client, the Cabarrus County Tax office and the North Carolina Dept of Revenue.

Actual grants may vary

Note: Grants Subject to City of Concord Economic Development Grant Program Requirements & governmental body approval.

Meeting Date

June 12, 2025

Annexation Agreement Staff Report (Concord-Harrisburg)

This request is to consider an annexation agreement with the Town of Harrisburg. Concord and Harrisburg previously had an active annexation agreement, approved by both jurisdictions in October 1998, and modified in December 2003 to modify the boundary line. The agreement expired in October, 2008 and has not been renewed.

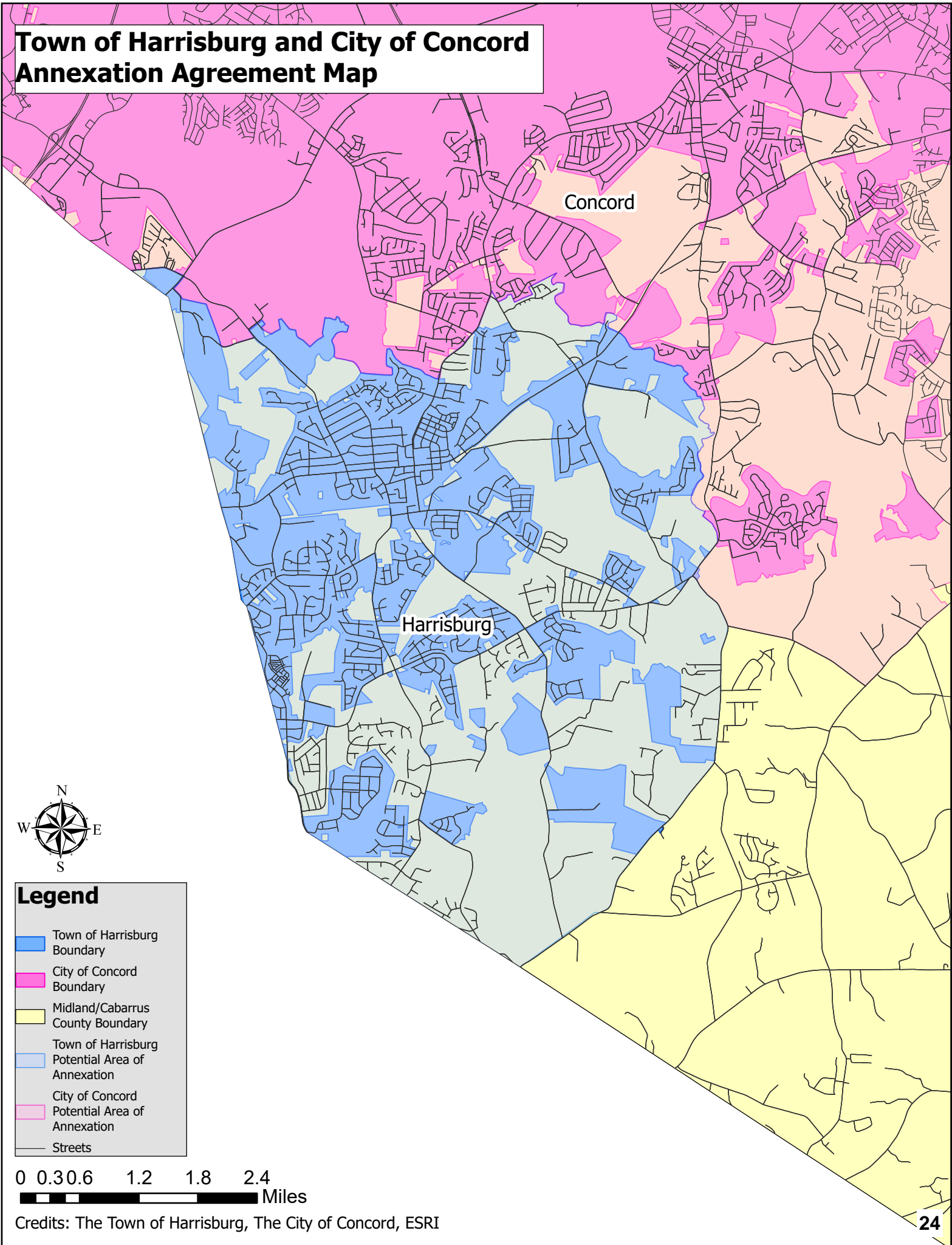
Harrisburg contacted staff late last year to initiate discussions about readopting the agreement. Management, Legal, Water Resources and Planning coordinated discussions with Harrisburg staff relative to language in the agreement, particularly as it relates to provision of utilities.

The agreement is substantially similar to the previous in that it requires that if one of the jurisdictions processes a petition within the potential area of annexation of the other, that they must notify the other jurisdiction sixty (60) days or more prior to the adoption of the ordinance. In short, the jurisdiction's governing board must waive their right to annex to allow the other party to annex property in their jurisdiction.

The major changes from the previous version are to utilize the phrase "potential area of annexation" as opposed to "area of consideration" and to require that the extension of utilities from one jurisdiction into another will require the consent of the party to where the utilities are to be extended. The agreement also clarifies that a jurisdiction may extend utilities through the other jurisdiction to serve property within their own limits.

Harrisburg's Town Council approved the agreement on May 13.

Town of Harrisburg and City of Concord Annexation Agreement Map



Legend

- Town of Harrisburg Boundary
- City of Concord Boundary
- Midland/Cabarrus County Boundary
- Town of Harrisburg Potential Area of Annexation
- City of Concord Potential Area of Annexation
- Streets

0 0.3 0.6 1.2 1.8 2.4 Miles

Credits: The Town of Harrisburg, The City of Concord, ESRI

NORTH CAROLINA
CABARRUS COUNTY

ANNEXATION AGREEMENT BETWEEN
CITY OF CONCORD AND TOWN OF HARRISBURG

WHEREAS, the City of Concord (hereinafter “Concord”), and Town of Harrisburg (hereinafter “Harrisburg”), being duly incorporated municipalities under the laws of the State of North Carolina, desire to eliminate uncertainty among residents and property owners in unincorporated areas adjacent to Harrisburg and Concord and also to improve planning by public and private interests in such areas; and

WHEREAS, Part 6, Article 4A, Chapter 160A of the North Carolina General Statutes (hereinafter “Act”) authorizes municipalities to enter into agreements designating areas which are not subject to annexation by the participating municipalities.

NOW, THEREFORE, THE PARTIES AGREE AS FOLLOWS:

1. This Agreement is executed pursuant to the authority of the Act.
2. This Agreement shall remain in effect for ten (10) years after its effective date.
3. a) No portion of Concord’s “Potential Area of Annexation” as adopted, is subject to annexation by Harrisburg, except as described below.

b) No portion of Harrisburg’s “Potential Area of Annexation” as adopted, is subject to annexation by Concord, except as described below.
4. The effective date of this Agreement is _____2025.
5. a) At least sixty (60) days before the adoption of any annexation ordinance by a party, wherein the affected property lies within the potential area of annexation of the other party, the party which is considering annexation shall give written notice of the other affected party of the proposed annexation. Such notice shall describe the area to be annexed by a legible map, clearly and accurately showing the boundaries of the areas to be annexed in relation to: the boundaries of the area which the annexing party has agreed not to annex pursuant to this Agreement; roads, streams, and any other prominent geographical features. Such notice shall not be effective for more than one hundred eighty (180) days.

b) Either municipality, which has property within their potential area of annexation which is proposed for annexation by the other municipality, after notification from the other municipality as described in paragraph 5(a) above, may waive, in its sole and absolute discretion, their rights to annex said property. Such waiver must be made by the party’s governing body.

c) Any waiver authorized by Paragraph 5(b) above must be in writing and bear the signature of the waiving party’s Mayor or the official or employee of the waiving party authorized to execute the waiver. If signed by an official or employee designated by a resolution of the party’s governing body, the waiver shall be effective without further approval of such party’s governing body. Any waiver shall only apply to the annexation described in said waiver. All notices or waivers required by the terms of this Agreement shall be sufficient if directed to and received by the Mayor of the party to whom such notice or waiver is directed.

d) So long as Concord does not take any action by ordinance or resolution to annex any property within Harrisburg's potential area of annexation, Harrisburg waives the notice requirements of Paragraph 5 (a). Under no circumstances may this Paragraph be construed to relieve Concord of the obligation to give notice of any proposed annexation of any portion of Cabarrus County. Harrisburg may revoke the waiver described above by resolution of its governing body. Such waiver shall be effective on the date set forth in such resolution or ninety (90) days after a copy of such resolution is received by the Mayor of Concord, whichever date is later.

e) So long as Harrisburg does not take any action by ordinance or resolution to annex any property within Concord's potential area of annexation, Concord waives the notice requirements of Paragraph 5 (a). Under no circumstances may this Paragraph be construed to relieve Harrisburg of the obligation to give notice of any proposed annexation of any portion of Cabarrus County. Concord may revoke the waiver described above by resolution of its governing body. Such waiver shall be effective on the date set forth in such resolution or ninety (90) days after a copy of such resolution is received by the Mayor of Harrisburg, whichever date is later.

6. The parties agree that the extension of utilities from within the corporate limits of either party to property located within the corporate limits of the other party will require the consent of the other party where the utilities are to be extended, provided that the proposed extension meets all the requirements of NCGS 160A Article 4A. The notice requirement of paragraph 5 is not applicable to this provision.

7. It shall be the responsibility of the annexing jurisdiction to provide utilities to the properties proposed for annexation. Nothing in this agreement shall prohibit either party from extending facilities across the other's boundary in order to provide services within their own annexation area.

8. The common boundary between Concord's area of consideration (generally east side of said line) and Harrisburg's area of consideration (generally west side of said line) shall be more particularly described as follows:

BEGINNING at a point, said point being the intersection of the Cabarrus County-Mecklenburg County line and the west right-of-way of Lower Rocky River Road (State Road 1136), thence along said right-of-way of Lower Rocky River Road in a north direction to a point on the north right-of-way of Rocky River Road (State Road 1139), thence along said right-of-way of Rocky River Road in an east and north direction to the intersection of the centerline of Rocky River, thence along said centerline in a west and north direction to its intersection with Coddle Creek, thence along the centerline of Coddle Creek in a north and west direction , (crossing NC Highway 49) to a point in an unnamed stream , thence along the centerline of said stream in a west direction, (passing an unnamed pond on the north), to a point on the east right-of-way of Roberta Road (SR 1304), thence along said right-of-way in a southwest direction to a point in the center of Rocky River, thence along the centerline of Rocky River in a west direction to the City of Concord's corporate limits, generally in a west direction to a point on the rear corner of P.I.N. 5508-04-7131(03), thence in a southeast direction 500 +/- feet to a point on the Town of Harrisburg corporate limit line, thence in a southwest direction 70 +/- feet to a point on the City of Concord's corporate limit, thence following said corporate limits to the intersection of Morehead Road (State Road 1300), thence along the centerline of Morehead Road in a southeast direction to the intersection of Hudspeth Road (State Road 1302), thence following the centerline of Hudspeth Road to the intersection of the Town of Harrisburg's corporate limits and the City of

Concord's corporate limits, thence along said common corporate boundary line to a point in the centerline of Hudspeth Road, thence along the centerline of Hudspeth Road in a northwest direction to a point on the north right-of-way of US Highway 29, South, thence following said right-of-way in a northeast direction to a point on the south right-of-way of Morehead Road, thence along said right-of-way in a west direction to a point on the Mecklenburg County line, thence along said County line in a southeast direction.

9. From and after the effective date of this Agreement, no party may consider in any manner the annexation of any area in violation of the Act or this Agreement. From and after the effective date of this Agreement, no party may annex all or any portion of any area in violation of the Act or this Agreement.

10. This Agreement shall not take effect until and unless it is duly approved and executed by all parties.

11. Nothing in the Act nor this Agreement shall be construed to authorize the annexation of any area which is not otherwise subject to annexation under applicable law.

12. Any party, which shall believe that a violation of the Act or this Agreement has occurred, shall have available to it all remedies and relief as authorized by the Act in addition to such remedies or relief as are authorized by other applicable law.

13. If Concord or Harrisburg lawfully extends water or sewer facilities into the other party's area of consideration, within the right-of-way of any public street which subsequently is annexed by and becomes a public street of that other party, the party that extended the utility will be permitted to maintain and extend water and sewer facilities subject to reasonable terms and conditions. This Agreement may not be construed to authorize the extension of water or sewer facilities within any portion of Concord or Harrisburg's area of consideration by the other party.

14. The provisions of this Agreement applicable to Concord and Harrisburg may only be amended or terminated upon the written agreement of Concord and Harrisburg, approved by the ordinance of their governing boards, and executed by the Mayors of Concord and Harrisburg and spread upon their respective minutes.

CITY OF CONCORD

Mayor

ATTEST:

City Clerk

APPROVED AS TO FORM:

City Attorney

TOWN OF HARRISBURG

Mayor

ATTEST:

Town Clerk

APPROVED AS TO FORM:

Town Attorney

From,
Sriram Kandasamy
President – Allen Mills HOA
9641 Garamont Pkwy NW
Concord, NC -28027
Sri.amhoa@gmail.com
05/06/2025

To,
Community Outreach Coordinator
Neighborhood Program
City Manager's Office
35 Cabarrus Ave West
Concord, NC 28025-0308
Phone: 704.920.5298

Subject: Application for Formal Recognition of Neighborhood Organizations for Allen Mills

Dear Mrs. Palmer,

We are applying to join the Neighborhood Program with in the City of Concord, North Carolina. We believe this is a great initiative to build partnership between the city and our neighborhood.

Formal recognition would serve as a powerful catalyst to collaborate on local improvement projects, facilitating communication between residents and the city on key issues.

Allen Mills HOA is a relatively new subdivision in Concord, North Carolina, primarily developed around the year 2018. It's characterized by single-family homes with a traditional architectural style, often featuring upgrades and well-maintained landscaping. The community is family-oriented, boasting amenities such as an outdoor pool, playground, sidewalks, and streetlights. Located off Cox Mill Road, Allen Mills enjoys a convenient location with proximity to Cox Mill Elementary and High Schools. The strength of the Allen Mills lies in its vibrant and diverse community, comprised of individuals and families from a variety of backgrounds, experiences, and perspectives, all contributing to the unique character of our neighborhood.

Our Neighborhood goals for Allen Mills:

1. **Enhance Communication and Collaboration with the City of Concord:** Establish clear and consistent channels for communication with Concord's Cities' departments to address neighborhood needs and participate in city-wide initiatives.

2. **Strengthen Connections with Neighboring Communities:** Explore opportunities for collaboration with adjacent HOAs or neighborhood associations on shared interests like traffic management, green space preservation, or community events.
3. **Increase Resident Engagement in Community Initiatives:** Implement strategies to encourage greater participation of Allen Mills residents in city-wide activities, volunteer efforts, and community-building events.
4. **Improve Neighborhood Aesthetics and Shared Spaces:** Partner with the City government and local businesses to enhance the appearance of common areas, maintain amenities, and potentially undertake beautification projects within Allen Mills.
5. **Enhance Safety and Security through Community Collaboration:** Work with the Concord Police Department and neighboring communities on initiatives such as neighborhood watch programs or safety awareness campaigns.
6. **Promote a Strong Sense of Community and Belonging:** Organize regular community events and social gatherings that foster interaction and build stronger relationships among Allen Mills residents.
7. **Advocate for Neighborhood Interests within City Planning:** Ensure the voices and needs of Allen Mills residents are considered in future city planning and development projects that may impact the community.

Also, PFA as addendum

1. Filled Application to join Neighborhood Program
2. Map of Neighborhood Boundaries
3. Copy of Our Bylaw's

Sincerely,

Sriram Kandasamy

President – Allen Mills HOA

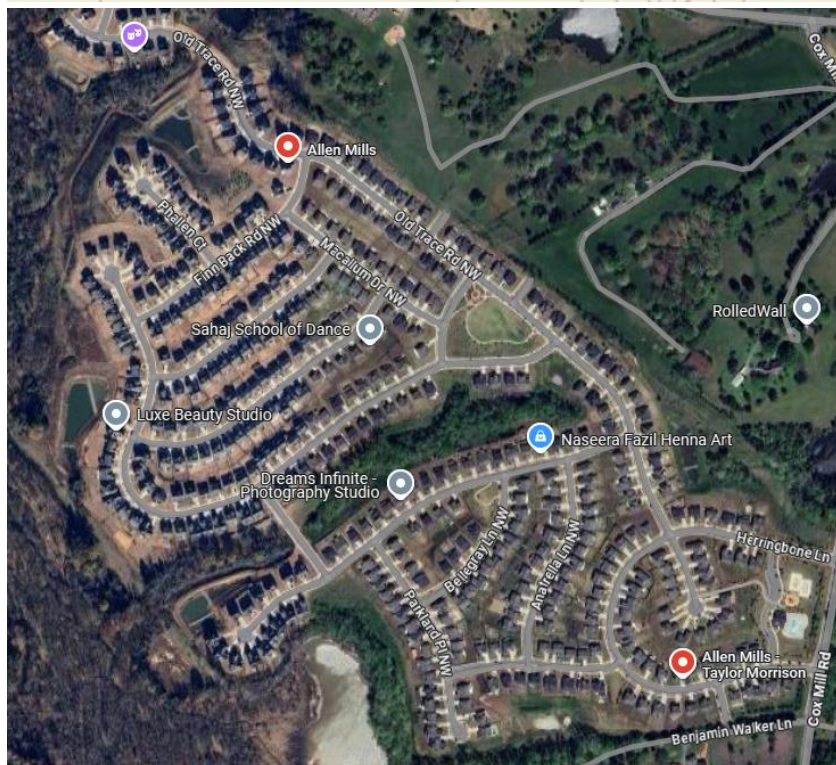
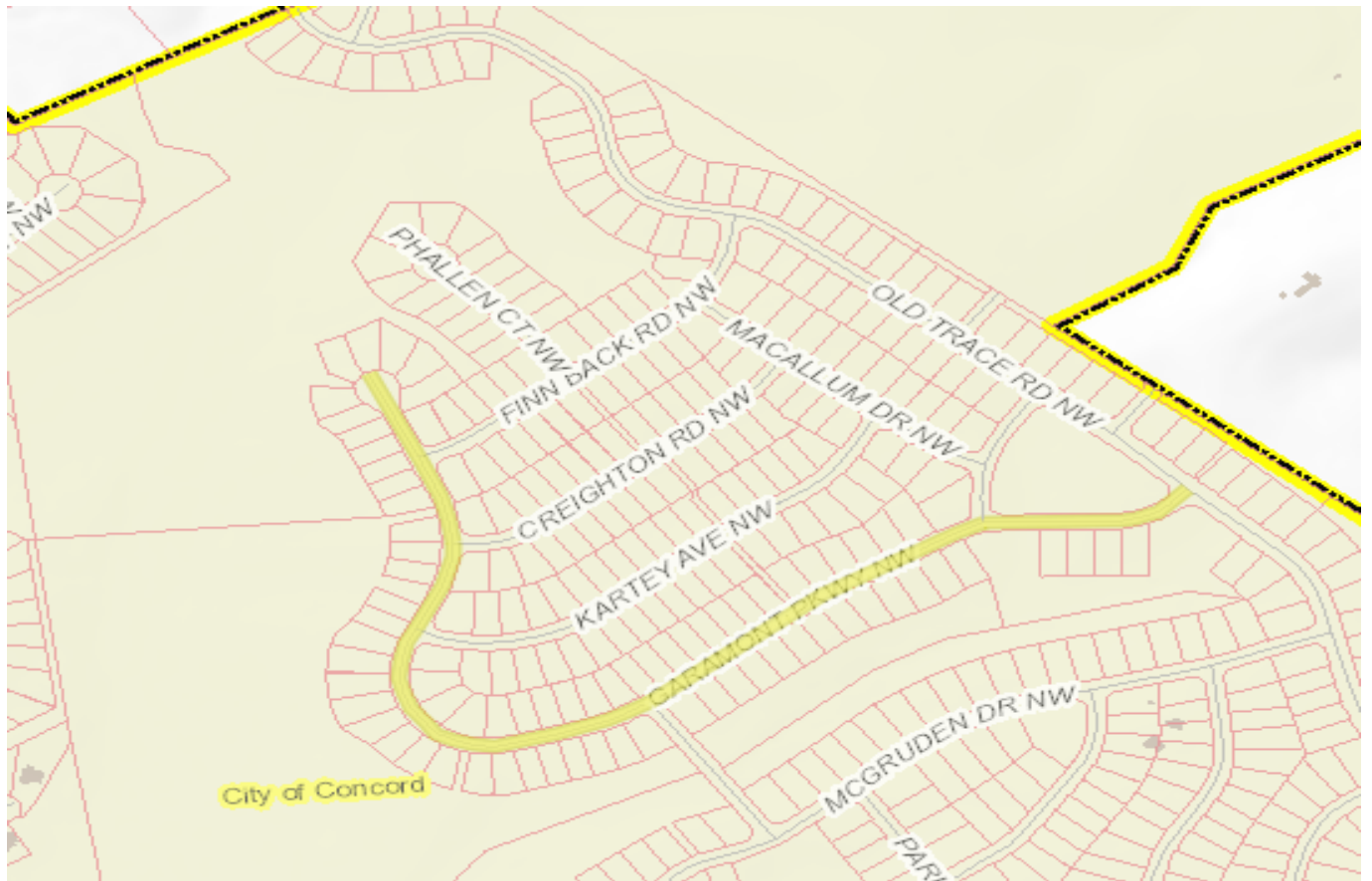


Exhibit "E" Quote Form Full Selection

The below quote is for installing fiber optics for the City of Concord 's fiber optic network.											
Contract No. 4320-FY25-26 Bid # 2677											
Quantity amounts are for quoting purpose only. They do not necessarily reflect the volume of work to be performed under this contract.				Hyper Networks 5/14/25 2:35 PM		STS Cable Services 5/14/25 2:45 PM		Broadlinx Communications 5/14/25 2:56 PM		Broadband Infrastructure 5/15/25 1:45	
Line #	Item Description	Quantity	Unit	Unit Quote Price	Amounted Quoted	Unit Quote Price	Amounted Quoted	Unit Quote Price	Amounted Quoted	Unit Quote Price	Amounted Quoted
1	Overlashing of City supplied fiber and include all necessary hardware. 1,500 foot or less	1000	LF	\$1.89	\$1,890.00	\$1.27	\$1,270.00	\$2.75	\$2,750.00	\$3.60	\$3,600.00
2	Overlashing of City supplied fiber and include all necessary hardware. 1,501 foot or more.	5000	LF	\$1.89	\$9,450.00	\$1.12	\$5,600.00	\$1.75	\$8,750.00	\$3.60	\$18,000.00
3	Install 5/16 strand and lash fiber to the strand 1000 foot or less. Furnish all necessary hardware to attach to pole and lashing hardware. City Supplies 5/16 strand.	1000	LF	\$1.64	\$1,640.00	\$2.62	\$2,620.00	\$3.80	\$3,800.00	\$5.04	\$5,040.00
4	Install 5/16 strand and lash fiber to the strand 1001 foot or more. Furnish all necessary hardware to attach to pole and lashing hardware. City Supplies 5/16 strand.	5000	LF	\$1.64	\$8,200.00	\$2.44	\$12,200.00	\$2.70	\$13,500.00	\$4.68	\$23,400.00
5	Installing aerial fiber storage loops.	10	EA	\$75.75	\$757.50	\$82.23	\$822.30	\$141.00	\$1,410.00	\$338.25	\$3,382.50
6	Furnish and Install an 8 foot anchor rod and expanding Bell with all necessary hardware	10	EA	\$150.00	\$1,500.00	\$298.50	\$2,985.00	\$243.00	\$2,430.00	\$331.03	\$3,310.30
7	Install 5/16 Downguy and guard. Include all necessary hardware including yellow guy guard. City supplies 5/16 strand.	10	EA	\$150.55	\$1,505.50	\$90.93	\$909.30	\$122.00	\$1,220.00	\$158.33	\$1,583.30
8	Pulling of 5/16 overhead guy with 5/16 down guy and include all necessary hardware including yellow guy guard for down guy. City supplies 5/16 strand.	250	LF	\$2.90	\$725.00	\$3.95	\$987.50	\$2.50	\$625.00	\$54.33	\$13,582.50
9	Remove old fiber and strand from poles and dispose of.	1000	LF	\$5.10	\$5,100.00	\$0.75	\$750.00	\$1.00	\$1,000.00	\$4.48	\$4,480.00
10	Drill Metal Pole to allow for mounting of strand and fiber.	10	EA	\$2,500.00	\$25,000.00	\$125.00	\$1,250.00	\$200.00	\$2,000.00	\$273.80	\$2,738.00
11	Grounding 5/16 strand to pole ground. Include all necessary hardware to properly bond the strand to pole ground.	10	EA	\$9.20	\$92.00	\$34.50	\$345.00	\$39.00	\$390.00	\$62.28	\$622.80
12	Make ready (raising or lowering other utilities on a pole) and reattaching to the pole. Include all necessary hardware.	10	Each Pole	\$2,500.00	\$25,000.00	\$102.00	\$1,020.00	\$145.00	\$1,450.00	\$215.48	\$2,154.80
13	Tree trimming to be able to get strand and fiber on pole.	1000	LF	\$9.20	\$9,200.00	\$5.38	\$5,380.00	\$4.00	\$4,000.00	\$14.44	\$14,440.00
14	Reattach existing city fiber to new poles (Pole Transfers). Include all necessary hardware.	10	Each pole	\$200.00	\$2,000.00	\$125.00	\$1,250.00	\$90.00	\$900.00	\$194.20	\$1,942.00
15	Cleat fiber down pole and attach "U guard" Include all necessary hardware. City Supplied U Guard	10	Each pole	\$50.00	\$500.00	\$129.53	\$1,295.30	\$75.00	\$750.00	\$158.09	\$1,580.90
16	Rehang splice cases with Deltec strapping. Contractor to provide Deltec Strapping.	10	EA	\$175.98	\$1,759.80	\$211.43	\$2,114.30	\$117.00	\$1,170.00	\$324.60	\$3,246.00
17	Pull fiber in underground conduit	1000	LF	\$1.25	\$1,250.00	\$1.40	\$1,400.00	\$1.50	\$1,500.00	\$3.65	\$3,650.00
18	Install pull string in underground conduit. Contractor Supplied pull string.	1000	LF	\$0.25	\$250.00	\$1.20	\$1,200.00	\$2.00	\$2,000.00	\$2.53	\$2,530.00
19	Install tracer wire in underground conduit. City Supplied tracer wire.	1000	LF	\$1.04	\$1,040.00	\$1.20	\$1,200.00	\$1.00	\$1,000.00	\$2.53	\$2,530.00
20	Install 24x36x24 inch Hand hole. Hand hole provided by City	10	Ea	\$475.10	\$4,751.00	\$322.51	\$3,225.10	\$450.00	\$4,500.00	\$374.99	\$3,749.90

21	Install Oversized 30x60x24 inch Hand hole. Hand hole provided by City	10	Ea	\$576.89	\$5,768.90	\$583.74	\$5,837.40	\$600.00	\$6,000.00	\$411.10	\$4,111.00
22	Place new conduit into existing hand hole	10	Ea	\$98.99	\$989.90	\$75.00	\$750.00	\$150.00	\$1,500.00	\$411.10	\$4,111.00
23	Open Trenching one 2 inch HDPE conduit with string. 150 foot or less. Contractor provides conduit and string.	100	LF	\$36.10	\$3,610.00	\$24.00	\$2,400.00	\$12.50	\$1,250.00	\$12.05	\$1,205.00
24	Open Trenching one 2 inch HDPE conduit with string. 151 foot or more. Contractor provides conduit and string.	300	LF	\$36.10	\$10,830.00	\$17.00	\$5,100.00	\$7.00	\$2,100.00	\$12.05	\$3,615.00
25	Open Trenching two 2 inch HDPE conduits with string. 150 foot or less. Contractor provides conduit and string.	100	LF	\$36.10	\$3,610.00	\$26.50	\$2,650.00	\$14.80	\$1,480.00	\$15.66	\$1,566.00
26	Open Trenching two 2 inch HDPE conduits with string. 151 foot or more. Contractor provides conduit and string.	300	LF	\$36.10	\$10,830.00	\$19.80	\$5,940.00	\$9.30	\$2,790.00	\$15.66	\$4,698.00
27	Cut, remove, and replace concrete for open trenching. Must Meet NCDOT Standards for the replacement.	100	Sq Foot	\$36.39	\$3,639.00	\$34.00	\$3,400.00	\$45.00	\$4,500.00	\$60.00	\$6,000.00
28	Cut, remove, and replace asphalt for open trenching. Must meet NCDOT standards for the replacement.	100	Sq Foot	\$31.36	\$3,136.00	\$66.00	\$6,600.00	\$45.00	\$4,500.00	\$60.00	\$6,000.00
29	Directional bore one 2 inch HDPE conduit 150 foot or less with string. Contractor supplies conduit. (This includes spotting all utilities mud removal and cleanup/seading and straw)	100	LF	\$13.77	\$1,377.00	\$24.20	\$2,420.00	\$20.00	\$2,000.00	\$23.81	\$2,381.00
30	Directional bore one 2 inch HDPE conduit 151 foot or more but not to exceed 3,000 foot with string. Contractor supplies conduit. (This includes spotting all utilities mud removal and cleanup/seading and straw)	1000	LF	\$13.77	\$13,770.00	\$22.20	\$22,200.00	\$14.50	\$14,500.00	\$23.81	\$23,810.00
31	Directional bore two 2 inch HDPE conduits 150 foot or less with string. Contractor supplies conduit. (This includes spotting all utilities mud removal and cleanup/seading and straw)	100	LF	16.08	\$1,608.00	27.4	\$2,740.00	24.25	\$2,425.00	\$27.41	\$2,741.00
32	Directional bore two 2 inch HDPE conduits 151 foot or more but not to exceed 3,000 foot with string. Contractor supplies conduit. (This includes spotting all utilities mud removal and cleanup/seading and straw)	1000	LF	\$16.08	\$16,080.00	\$25.40	\$25,400.00	\$18.75	\$18,750.00	\$27.41	\$27,410.00
33	Install City furnished pole 35' class 4 installation includes butt ground. Contactor supplies #6 ground wire and hardware.	10	Ea	\$4,500.00	\$45,000.00	\$2.00	\$20.00	\$500.00	\$5,000.00	\$4,114.96	\$41,149.60
34	Install City furnished pole 40' class 4 installation includes butt ground. Contactor supplies #6 ground wire and hardware.	10	Ea	\$4,750.00	\$47,500.00	\$1,350.00	\$13,500.00	\$550.00	\$5,500.00	\$4,114.96	\$41,149.60
35	Install City furnished pole 45' class 3 installation includes butt ground. Contactor supplies #6 ground wire and hardware.	10	Ea	\$5,500.00	\$55,000.00	\$1,550.00	\$15,500.00	\$750.00	\$7,500.00	\$4,114.96	\$41,149.60
36	Traffic Control	10	Per day	\$1,500.00	\$15,000.00	\$1,550.00	\$15,500.00	\$2,200.00	\$22,000.00	\$4,333.20	\$43,332.00
37	Mobilization for emergency work (Per Occurrence)	5	LS	\$500.00	\$2,500.00	\$2,800.00	\$14,000.00	\$1,200.00	\$6,000.00	\$722.20	\$3,611.00
38	Mobilization for work to be performed off of standard work hours (night and weekend work)	5	LS	\$750.00	\$3,750.00	\$2,800.00	\$14,000.00	\$650.00	\$3,250.00	\$722.20	\$3,611.00
				Total	\$345,609.60	Total	\$205,781.20	Total	\$166,190.00	Total	\$377,213.80



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334 ATKINSON STREET

CLAYTON

NC 27520

Quotation

UNLESS THERE ARE DIFFERENT OR ADDITIONAL TERMS AND CONDITIONS CONTAINED IN A MASTER AGREEMENT THAT MODIFY WESCO'S STANDARD TERMS, BUYER AGREES THAT THIS QUOTE AND ANY RESULTING PURCHASE ORDER WILL BE GOVERNED BY WESCO'S TERMS AND CONDITIONS AVAILABLE AT [HTTP://WWW.WESCO.COM/TERMS AND CONDITIONS OF SALE.PDF](http://www.wesco.com/terms_and_conditions_of_sale.pdf), WHICH TERMS ARE INCORPORATED HEREIN BY REFERENCE AND MADE PART HEREOF. PLEASE CONTACT THE SELLER IDENTIFIED ON THIS QUOTE IF YOU REQUIRE A PRINTED COPY.

To: CITY OF CONCORD - SOURCEW
635 ALFRED BROWN JR CT SW
SOURCEWELL
CONCORD NC 280255825

Date: 05/23/25

Branch: 7884

Project Number: TRANSFORMER QUOTE

Project Name

Quoted To: BLAKE BURRIS

Date of Your Inquiry: 05/19/25

When ordering please refer
to Quotation Number: 197196

Item	Quantity	Catalog Number and Description	Unit Price	U/M	Total Price	Rate of Cash Discount	Shipping Time (Weeks)	Customer Delivery Date
10	2	HITACHI***150 KVA LIQUID FILLED PADMOUNTED TRANSFORMER; 2401 - DISTRIBUTION TRANSFORMERS	21700.000	E	43400.00	0.00		05/30/25
20	2	HITACHI***1500 KVA LIQUID FILLED PADMOUNTED TRANSFORMER	68782.000	E	137564.00	0.00		10/20/25
30	2	HITACHI***1000 KVA LIQUID FILLED PADMOUNTED TRANSFORMER	49097.000	E	98194.00	0.00		10/20/25
		SOURCEWELL CONTRACT # 091422-WES						
		SUB-TOTAL			279158.00			
		ESTIMATED TAX			19541.06			
		TOTAL			298699.06			

Wesco may assess storage and transportation fees if you do not take or accept delivery within 90 days of product availability. Wesco may also update this quote or above pricing due to duties, freight, tariffs, supplier pricing, surcharges, or exchange rate fluctuations. BY ACCEPTING THIS QUOTE, YOU AGREE THAT THE TERMS AND CONDITIONS OF SALE PUBLISHED AT www.wesco.com/termsandsale ARE EXPRESSLY INCORPORATED INTO AND SHALL GOVERN THIS TRANSACTION.

Per:

**RESOLUTION IN SUPPORT OF
NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
PROJECT FOR ROADWAY LIGHTING AT THE I-85 AND KANNAPOLIS
PKWY/GEORGE W LILES PKWY INTERCHANGE**

WHEREAS, the North Carolina Department of Transportation (hereinafter "NCDOT") is proposing to modify the I-85 and Kannapolis Pkwy/George W Liles Pkwy interchange to install roadway lighting (hereinafter referred to as the "Project"); and

WHEREAS, Spot Safety funds will be requested for this Project; and

WHEREAS, NCDOT is asking for local municipal support of this project and a commitment to provide some funding for the project before Spot Safety funds will be committed; and

WHEREAS, NCDOT has notified the City of Concord (hereinafter the 'City') of the Project, and has requested that the City submit a resolution expressing its views on the same; and

WHEREAS, the City, acting through its City Council in regular session assembled on the 12th day of September 2024, has expressed its support of and commitment of funds towards the Project and has voted to adopt this Resolution evidencing the same, all in compliance with the requirements of N.C.G.S. 136-11.1;

NOW, THEREFORE, BE IT RESOLVED, that the City of Concord, City Council does hereby express its support of the Project as set forth hereinabove.

BE IT FURTHER RESOLVED that the City of Concord, City Council authorizes its Mayor and the Clerk to the Council to sign this Resolution and attach the City seal thereto, and to forward a copy of the same to NCDOT

Adopted this 12th day of September 2024, by the City of Concord, City Council.

William Dusch, Mayor

Attest:

Kim Deason, City Clerk

CITY OF CONCORD
CERTIFIED BID TABULATION FORM
STREETS PRESERVATION CONTRACT STR26 Bid No. 2675

LOCATION: Brown Operations Center, Conference Room C, 635 Alfred Brown Jr Ct. Concord, NC 28026
TIME: 2:00 P.M. DATE: May 6th, 2025

Contractor				Blythe Brothers Asphalt Co. LLC		Blythe Construction Inc.		Ferebee Corporation		J.T. Russell & Sons, Inc.	
N.C. License No.				42840		7639		18306		2767	
Address				1415 E Westinghouse Blvd		PO Box 31635		PO Box 480066		PO Box 670	
City, State Zip				Charlotte, NC 28273		Charlotte, NC 28231		Charlotte, NC 28269		Albermarle, NC 28002	
5% Bid Bond Included				Yes		Yes		Yes		Yes	
No.	Item	Units	Quantity	Unit Price	Item Total	Unit Price	Item Total	Unit Price	Item Total	Unit Price	Item Total
Crack and Joint Sealing											
1.1	Seal Existing pavement cracks and joints	lbs	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
					NO BID		NO BID		NO BID		NO BID
Patching, Leveling, Asphalt Seal Coating											
2.1	Asphalt Full Depth Finished Patching - Place and compact Intermediate Course 3" I19.0B with 2" Surface Course S9.5 B Cap (areas to be determined)	Tons	2,000	\$146.00	\$292,000.00	\$235.00	\$470,000.00	\$150.00	\$300,000.00	\$155.00	\$310,000.00
2.2	Asphalt Full Depth Patching - Place and compact Intermediate Course I19.0B (no Surface Course Cap)	Tons	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
2.3	Asphalt Leveling - Place and compact Intermediate Course I19.0B	Tons	14,850	\$115.00	\$1,707,750.00	\$126.00	\$1,871,100.00	\$105.50	\$1,566,675.00	\$105.00	\$1,559,250.00
2.4	Asphalt Leveling - Place and compact Asphalt Open Graded Leveling Course (P78 or mix as approved by Director)	Tons	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
2.5	Place and compact suitable Sub-base material (Location to be determined)	Cu. Yd	500	\$70.00	\$35,000.00	\$200.00	\$100,000.00	\$89.50	\$44,750.00	\$300.00	\$150,000.00
2.6	Asphalt Seal Coat	Sq. Yd	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
					\$2,034,750.00		\$2,441,100.00		\$1,911,425.00		\$2,019,250.00
Milling											
3.1	Full Mill the bituminous pavement - Depth 0" to 4"	Sq. Yd	136,050	\$5.00	\$680,250.00	\$4.85	\$659,842.50	\$4.55	\$619,027.50	\$7.00	\$952,350.00
3.2	Edge Mill the bituminous pavement - Depth 0" to 4"	Sq. Yd	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
3.3	Incidental Milling 0" to 6"	Sq. Yd	100	\$25.00	\$2,500.00	\$15.00	\$1,500.00	\$20.00	\$2,000.00	\$12.00	\$1,200.00
					\$682,750.00		\$661,342.50		\$621,027.50		\$953,550.00
Reclamation											
4.1	Reclamation of existing roadway with concrete stabilization	Sq. Yd	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
4.2	Undercut and replace with approved suitable material for subgrade repairs	Tons	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
					NO BID		NO BID		NO BID		NO BID
Resurfacing											
5.1	Asphalt Resurfacing - Place and compact 1.25" of Surface Course S9.5B	Tons	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
5.2	Asphalt Resurfacing - Place and compact 1.5-2" of Surface Course S9.5B	Tons	14,800	\$117.00	\$1,731,600.00	\$128.00	\$1,894,400.00	\$116.50	\$1,724,200.00	\$108.00	\$1,598,400.00
					\$1,731,600.00		\$1,894,400.00		\$1,724,200.00		\$1,598,400.00
Concrete											
6.1	City of Concord Standard Valley Type Concrete Curb and Gutter (Incidental and as directed:	LF	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
6.2	City of Concord Standard 2'-6" Concrete Curb and Gutter (Incidental and as directed):	LF	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
6.3	Wheelchair Ramps (Incidental and as directed:	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
6.4	4" Thick Concrete Sidewalk	Sq. Yd	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
					NO BID		NO BID		NO BID		NO BID
Re-Striping, Remarking. And Replace Pavement Marker											
7.1	Thermoplastic Pavement Marking Lines 4" Double Yellow Solid	LF	25,750	\$3.20	\$82,400.00	\$0.90	\$23,175.00	\$2.35	\$60,512.50	\$4.00	\$103,000.00
7.2	Thermoplastic Pavement Marking Lines 4" Yellow Solid, Skip, and Mini Skip Line	LF	350	\$2.25	\$787.50	\$0.90	\$315.00	\$0.85	\$297.50	\$3.00	\$1,050.00
7.3	Thermoplastic Pavement Marking Lines 8" Yellow Gore Line	LF	115	\$8.50	\$977.50	\$4.50	\$517.50	\$4.05	\$465.75	\$10.00	\$1,150.00
7.4	Thermoplastic Pavement Marking Lines 4" White Solid, Skip, and Mini Skip and Parking Stall Line	LF	24,500	\$2.50	\$61,250.00	\$0.90	\$22,050.00	\$0.85	\$20,825.00	\$3.00	\$73,500.00
7.5	Thermoplastic Pavement Marking Lines STOP Bar - 24"	LF	180	\$24.00	\$4,320.00	\$12.00	\$2,160.00	\$15.05	\$2,709.00	\$28.00	\$5,040.00
7.6	Temporary Painted Pavement Marking White and Yellow	LF	27,000	\$0.85	\$22,950.00	\$0.45	\$12,150.00	\$0.25	\$6,750.00	\$1.00	\$27,000.00
7.7	Thermoplastic Pavement Marking Lines Crosswalk, Hi-Visibility - 24" White Bars NCDOT Std.	LF	160	\$24.00	\$3,840.00	\$12.00	\$1,920.00	\$15.05	\$2,408.00	\$28.00	\$4,480.00
7.8	Thermoplastic Pavement Marking Symbol Yield Lane Symbol	LF	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.9	Thermoplastic Pavement Marking Symbol Thur, Right-Turn or Left-Turn Arrow	Ea.	26	\$170.00	\$4,420.00	\$175.00	\$4,550.00	\$125.50	\$3,263.00	\$200.00	\$5,200.00
7.10	Thermoplastic Pavment Marking Symbol Combo Arrow - Thur-Rt. / Thru-Lf. / Thru Rt. & Lf.	Ea.	7	\$230.00	\$1,610.00	\$175.00	\$1,225.00	\$301.25	\$2,108.75	\$270.00	\$1,890.00
7.11	Thermoplastic Pavement Marking Symbol Characters 8'-4" NCDOT Std.	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.12	Thermoplastic Pavement Marking Symbol SCHOOL 10' w/ 24" Band NCDOT Std.	Ea.	2	\$1,500.00	\$3,000.00	\$950.00	\$1,900.00	\$1,205.00	\$2,410.00	\$1,600.00	\$3,200.00
7.13	Thermoplastic Marking Symbol Railroad - RXR NCDOT	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.14	Thermoplastic Pavement Marking Symbol Bicycle Shared Lane NCDOT Std.	Ea.	75	\$475.00	\$35,625.00	\$165.00	\$12,375.00	\$602.50	\$45,187.50	\$570.00	\$42,750.00
7.15	Thermoplastic Pavement Marking Symbol Bicycle Detector NCDOT Std.	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.16	Thermoplastic Pavement Marking Symbol Handicap Symbol NCDOT Std.	Ea.	1	\$400.00	\$400.00	\$450.00	\$450.00	\$555.00	\$555.00	\$450.00	\$450.00
7.17	Permanent Raised Pavement Marker Yellow / Yellow	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.18	Permanent Raised Pavement Marker Crystal / Red	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.19	Permanent Raised Pavement Marker Blue / Blue at Fire Hydrant Locations	Ea.	0	-	NO BID	-	NO BID	-	NO BID	-	NO BID
7.20	(Match Existing) - "Fire Lane" Red Box with White Lettering	Ea.	2	\$3,900.00	\$7,800.00	\$400.00	\$800.00	\$655.00	\$1,310.00	\$4,600.00	\$9,200.00
7.21	Stamped Asphalt Decorative Crosswalk	Ea.	10	\$22,000.00	\$220,000.00	\$3,900.00	\$39,000.00	\$11,500.00	\$115,000.00	\$26,000.00	\$260,000.00
					\$449,380.00		\$122,587.50		\$263,802.00		\$537,910.00
BASE BID SECTIONS SUBTOTAL					\$4,898,480.00		\$5,119,430.00		\$4,520,454.50		\$5,109,110.00
+ 10% CONTINGENCY					\$489,848.00		\$511,943.00		\$452,045.45		\$510,911.00
TOTAL BID											

This is to certify that bids tabulated herein were publicly opened and read aloud at 2:00 p.m. on May 6, 2025, in the conference room at the Brown Operations Center at 635 Alfred Brown Jr. Ct. SW, Concord, North Carolina.

This Certified Bid Tabulation is true and correct to the best of my abilities and knowledge.

signed: George Edwards Jr. PE

AN ORDINANCE AMENDING A PORTION OF CHAPTER 1 OF
THE CITY CODE FOR CONCORD, NORTH CAROLINA

WHEREAS, the City Council of the City of Concord is authorized from time to time to amend the Concord Code of Ordinances of the City of Concord; and

WHEREAS, the City Council of the City of Concord recognizes the need to amend the Concord Code of Ordinances of the City of Concord and hereby adopts the following changes to the Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord, North Carolina, after due consideration and in the best interests of its citizens and property of Concord, that:

Section 1. That Chapter 1 – General Provisions, Sec. 1-6. – General penalty; enforcement of ordinances; continuing violations, numbers (b)(1), (2), and (4) are hereby amended and restated to read as follows:

(1) *General methods.* All notices of violation, civil citations, orders or any other documents served upon any person or entity in connection with any violation of this Code shall be issued by the appropriate code enforcement officer and shall be served on the violator or responsible party either personally or by certified or registered mail. When service is made by certified or registered mail, a copy of the notice of violation, civil citation, order, or other document may also be sent by regular mail. Service shall be deemed sufficient if the certified or registered mail is unclaimed or refused but the regular mail is not returned by the post office within 10 days after the mailing. If regular mail is used, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.

(2) *Service by publication.* If the identities of any violator or responsible party or the whereabouts of such person are unknown and cannot be ascertained by the appropriate code enforcement officer in the exercise of reasonable diligence, or, if the owners are known but have refused to accept service by certified or registered mail, and the appropriate code enforcement officer makes an affidavit to that effect, then the serving of the notice of violation, civil citation, order or any other document may be made by publication in a newspaper having general circulation in the city at least once no later than the time at which personal service would be required. When service is made by publication, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.

(4) *Time of service.* The violator or responsible party shall be deemed to have been served upon receipt of such notices of violation, civil citations, orders or any other documents. In the event of service by certified or registered mail and regular mail, as permitted by Section 1-6(b)(1), the violator or responsible party shall be deemed to have been served 10 days after the date of the mailing. In the event of service by publication,

the violator or responsible party shall be deemed to have been served upon the date of such publication.

Section 2. This Ordinance shall be effective upon adoption.

Adopted this ____ day of _____ 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST:

Kim Deason, City Clerk

APPROVED AS TO FORM:

VaLerie Kolczynski, City Attorney

AN ORDINANCE AMENDING A PORTION OF CHAPTER 14 OF
THE CITY CODE FOR CONCORD, NORTH CAROLINA

WHEREAS, the City Council of the City of Concord is authorized from time to time to amend the Concord Code of Ordinances of the City of Concord; and

WHEREAS, the City Council of the City of Concord recognizes the need to amend the Concord Code of Ordinances of the City of Concord and hereby adopts the following changes to the Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord, North Carolina, after due consideration and in the best interests of its citizens and property of Concord, that:

Section 1. That Chapter 14 – Buildings and Building Regulations, Sec.14-45. – Methods of service of complaints and orders is hereby amended and restated to read as follows:

(a) Complaints or orders issued by a public officer pursuant to this article shall be served upon persons either personally or by registered or certified mail. When service is made by certified or registered mail, a copy of the complaint or order may also be sent by regular mail. Service shall be deemed sufficient if the certified mail is unclaimed or refused but the regular mail is not returned by the post office within 10 days after the mailing. If regular mail is used, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.

(b) If the identities of any owners or the whereabouts of persons are unknown and cannot be ascertained by the public officer in the exercise of reasonable diligence, or, if the owners are known but have refused to accept service by certified or registered mail, and the public officer makes an affidavit to that effect, then the serving of the complaint or order upon the owners or other persons may be made by publication in a newspaper having general circulation in the city at least once no later than the time at which personal service would be required under the provisions of this article. When service is made by publication, a notice of the pending proceedings shall be posed in a conspicuous place on the premises thereby affected.

Section 2. That Chapter 14 – Buildings and Building Regulations, Sec. 14-72. – Methods of service is hereby amended and restated to read as follows:

(a) Complaints or orders issued by the planning director or his designee pursuant to this article shall be served upon persons either personally or by registered or certified mail. When service is made by certified or registered mail, a copy of the complaint or order may also be sent by regular mail. Service shall be deemed sufficient if the certified mail is unclaimed or refused but the regular mail is not returned by the post office within 10 days after the mailing. If regular mail is used, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.

(b) If the identities of any owners or the whereabouts of persons are unknown and cannot be ascertained by the planning director or his designee in the exercise of reasonable diligence, or, if the owners are known but have refused to accept service by certified or registered mail, and the planning director or his designee makes an affidavit to that effect, then the serving of the complaint or order upon the owners or other persons may be made by publication in a newspaper having general circulation in the city at least once no later than the time at which personal service would be required under the provisions of this article. When service is made by publication, a notice of the pending proceedings shall be posted in a conspicuous place on the premises thereby affected.

Section 3. This Ordinance shall be effective upon adoption.

Adopted this ____ day of _____ 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST:

Kim Deason, City Clerk

APPROVED AS TO FORM:

VaLerie Kolczynski, City Attorney

Sec. 1-6. – General Penalty; enforcement of ordinances; continuing violation.

(b) Methods of service.

- (1) *General methods.* All notices of violation, civil citations, orders or any other documents served upon any person or entity in connection with any violation of this Code shall be issued by the appropriate code enforcement officer and shall be served on the violator or responsible party ~~by personal delivery or by simultaneous mailing both by first class U.S. mail and by certified or registered mail, return receipt requested and addressed to the last known address of the violator or responsible party as contained in the records of the county~~ either personally or by certified or registered mail. When service is made by certified or registered mail, a copy of the notice of violation, civil citation, order, or other document may also be sent by regular mail. Service shall be deemed sufficient if the certified or registered mail is unclaimed or refused but the regular mail is not returned by the post office within 10 days after the mailing. If regular mail is used, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.
- (2) *Service by publication.* ~~A party that cannot with due diligence be served by personal delivery, registered or certified mail may be served by publication. Service by publication shall consist of publishing the notice of violation, civil citation, order or other document in a newspaper having general circulation in the city, that is qualified for legal advertising in accordance with G.S. 1-597 and G.S. 1-598, and circulated in the city where the action is pending. If the party's post office address is known or can with reasonable diligence be ascertained, there shall be mailed to the party at or immediately prior to the publication a copy of the notice of service of process by publication. The mailing may be omitted if the post office address cannot be ascertained with reasonable diligence. Prior to such publication, the appropriate code enforcement officer shall execute an affidavit setting forth the circumstances warranting the use of service by publication, and information, if any, regarding the location of the party served. If the identities of any violator or responsible party or the whereabouts of such person are unknown and cannot be ascertained by the appropriate code enforcement officer in the exercise of reasonable diligence, or, if the owners are known by have refused to accepted service by certified or registered mail, and the appropriate code enforcement officer makes an affidavit to that effect, then the serving of the notice of violation, civil citation, order or any other document may be made by publication in a newspaper having general circulation in the city at least once nor later than the time at which personal service would be required. When service is made by publication, a notice of the pending proceeding shall be posted in a conspicuous place on the premises affected.~~

~~The service by publication shall set forth any and all requirements of the particular document being served and shall include, as appropriate, (i) the consequences of the service; (ii) the names of any known persons also being served; (iii) any time~~

~~frames or deadlines involved; (iv) any appeal rights; (v) contact information for the appropriate code enforcement officer.~~

- (3) *Vehicles*. If the violation is due to use of a vehicle, the citation may be served by posting it on the windshield of the offending vehicle.
- (4) *Time of service*. The violator or responsible party shall be deemed to have been served upon receipt of such notices of violation, civil citations, orders or any other documents. In the event of service by certified or registered mail and regular mail, as permitted by Section 1-6(b)(1), the violator or responsible party shall be deemed to have been served 10 days after the date of the mailing. In the event of service by publication, the violator or responsible party shall be deemed to have been served upon the date of such publication.

Sec. 14-45. – Methods of service of complaints and orders.

(a) Complaints or orders issued by ~~the~~ a public officer pursuant to this article shall be served upon persons either personally or by registered or certified mail. When service is made by certified or registered mail, a copy of the complaint or order may also be sent by regular mail. Service shall be deemed sufficient if the certified mail is unclaimed or refused but the regular mail is not returned by the post office within 10 days after the mailing. If regular mail is used, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.

~~§ 14-45(b)~~ (b) If the identities of any owners or the whereabouts of persons are unknown and cannot be ascertained by the public officer in the exercise of reasonable diligence, or, if the owners are known but have refused to accept service by certified or registered mail, and the public officer makes an affidavit to that effect, then the serving of the complaint or order upon the owners or other persons~~person~~ may be made by publication in a newspaper having general circulation in the city at least once no later than the time at which personal service would be required under the provisions of this article. When service is made by publication, a notice of the pending proceedings shall be posted in a conspicuous place on the premises thereby affected.

Sec. 14-72. – Methods of service.

(a) Complaints or orders issued by the planning director or his designee pursuant to this article shall be served upon persons either personally or by registered or certified mail. When service is made by certified or registered mail, a copy of the complaint or order may also be sent by regular mail. Service shall be deemed sufficient if the certified mail is unclaimed or refused but the regular mail is not returned by the post office within 10 days after the mailing. If regular

mail is used, a notice of the pending proceedings shall be posted in a conspicuous place on the premises affected.

~~(a)~~(b) If the identities of any owners or the whereabouts of such person(s) ~~is/are~~persons are unknown and ~~the same~~ cannot be ascertained by the planning director or his designee in the exercise of reasonable diligence, or, if the owners are known by have refused to accept service by certified or registered mail, and the planning director or his designee makes an affidavit to that effect, ~~and in said affidavit affirms the steps taken to determine and locate the person(s) of interest,~~ then the serving of ~~the~~such complaint or order upon the owners or other persons may be made by publication~~publishing the same once each week for two successive weeks~~ in a newspaper having generally circulated ~~within~~circulation in the city at least once nor later than the time at which personal service would be required under the provisions of this article. ~~Where such service is by publication~~When service is made by publication, a notice of the pending proceedings shall ~~also~~ be posted in a conspicuous place on the premises thereby affected.

AN ORDINANCE AMENDING A PORTION OF CHAPTER 62 OF
THE CITY CODE FOR CONCORD, NORTH CAROLINA

WHEREAS, the City Council of the City of Concord is authorized from time to time to amend the Concord Code of Ordinances of the City of Concord; and

WHEREAS, the City Council of the City of Concord recognizes the need to amend the Concord Code of Ordinances of the City of Concord and hereby adopts the following changes to the Code.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord, North Carolina, after due consideration and in the best interests of its citizens and property of Concord, that:

Section 1. Article IV; Section 62-132(a)(2); Subsection (a)(1) be amended to include the establishment of the residential block levels for the conservation water rate structure. Along with the adoption of the new fee schedule for FY26, this change is needed to provide consistency for the changing tier limits.

i. Block 1. A Block 1 rate shall apply to customers that have zero to 3,000 gallons pass through the water meter during the billing cycle.

ii. Block 2. A Block 2 rate shall apply to customers that have 3,001 to 8,999 gallons pass through the water meter during the billing cycle.

Section 2. Article V; Section 62-161; Subsection(f)(11&12) be amended to provide inspection requirements for backflow devices and repair timelines for failed inspections.

(11) Each backflow prevention assembly that is required must function properly at time of installment. Each customer will be required to test, maintain, and repair each assembly required which is a part of the customer's private water system. A certified backflow prevention technician may only conduct such test. Testing shall be done immediately following installation of any backflow prevention assembly and on an annual basis except residential irrigation assemblies. Residential irrigation assemblies must be tested immediately after installation and every three years thereafter.

(12) If repair is found necessary on an assembly it must be repaired within 30 days and retested. A complete duplicate copy of any testing and/or repair shall be sent to the City within 30 days of completion of test or repair. Each customer must maintain a complete copy of test or repair. Each customer must maintain a complete copy of any test or repair for no less than five years. All test and repair records must be maintained on forms approved by the Backflow Administrator of the City.

Adopted this 12th day of June 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

FIFTH CONTRACT ADDENDUM

THIS FIFTH CONTRACT ADDENDUM is made and entered into this the ____ day of _____, 2025, by and between the City of Concord, North Carolina, a North Carolina municipal corporation (hereinafter referred to as the "City" or "Concord"), and Town of Harrisburg, North Carolina, a North Carolina municipal corporation (hereinafter referred to as "Harrisburg").

WHEREAS, the City and Harrisburg entered into an agreement dated June 30, 2008 for the sale of potable water to Harrisburg; and

WHEREAS, the City and Harrisburg entered into a Contract Addendum (hereinafter referred to as "First Addendum") dated July 2016, modifying the terms of the original agreement; and

WHEREAS, the City and Harrisburg entered into a Second Contract Addendum (hereinafter referred to as "Second Addendum") dated August 2018, modifying the terms of the original agreement and First Addendum; and

WHEREAS, the City and Harrisburg entered into a Third Contract Addendum (hereinafter referred to as "Third Addendum") dated May 18, 2023, modifying the terms of the original agreement, First Addendum, and Second Addendum; and

WHEREAS, the City and Harrisburg entered into a Fourth Contract Addendum (hereinafter referred to as "Fourth Addendum") dated May 14, 2024, modifying the terms of the original agreement, First Addendum, and Second Addendum; Third Addendum and

WHEREAS the Fourth Addendum provided that:

1. The Third Addendum dated May 18, 2023 between the parties is hereby amended to read as follows:
2. Sec. 2, Term: This Agreement shall extend for a period of one (1) year beginning effective when signed and ending at midnight on June 30, 2025. On an annual basis, the parties agree to meet and review the Total Amount, the Minimum Amount, and the O&M Rate.
3. All other terms and conditions of the Agreement and First, Second and Third Addendum shall remain in full force and effect.

NOW, THEREFORE, in consideration of the mutual covenants contained herein, the parties hereto agree as follows:

1. The Fourth Addendum dated May 14, 2024 between the parties is hereby amended to read as follows:
2. Sec. 2, Term: This Agreement shall extend for a period of five (5) year beginning effective when signed and ending at midnight on June 30, 2030. On an annual basis, the parties agree to meet and review the Total Amount, the Minimum Amount, and the O&M Rate.
3. Concord agrees to make available to Harrisburg up to 2 million gallons per day. If 2 million gallons per day average over a billing period is exceeded the overage amount will be subject to a higher rate equal to the residential Block 2 outside city volumetric rate as defined in the City of Concord adopted rates and fee schedule.
4. Harrisburg agrees to a take-or-pay amount of 1 million gallons per day. The minimum billed amount each month will be 1 million gallons per day.
5. The amount of allowable routine rate increases each year remains at no more than 4% per year. This includes the O&M Rate and any unidentified Federal or State recommendations passed on to Concord as well as any additional amounts due to other regulatory requirements (PFAS, etc.). Any percentage amount above 4% for all of these other effects on the rate collectively must be renegotiated and agreed to by both parties.
6. All other terms and conditions of the Agreement and First, Second, Third and Fourth Addendum shall remain in full force and effect.

IN WITNESS WHEREOF, the parties hereto have executed this Fifth Contract Addendum as of the day and year first above written.

CITY OF CONCORD:

By:

Lloyd Payne, City Manager

Kim Deason, City Clerk

(SEAL)

Approved as to form:

VaLerie Kolczynski, City Attorney

This instrument has been pre-audited in the manner required by the "Local Government Budget and Fiscal Control Act."

Jessica Jones, Finance Director

TOWN OF HARRISBURG

By: _____ (SEAL)

ATTEST:

Town Clerk

APPROVED AS TO FORM:

Town Attorney

APPROVAL BY TOWN FINANCE OFFICER

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.



City of Concord

Sewer Allocation Policy

1. Term and applicability of this Policy
 - a. This policy shall control the preliminary allocation of sewer to projects requiring permits based upon 15A NCAC Subchapter 2T rules and the Water and Sewer Authority of Cabarrus County sewer allocation and Commitment Policy. This policy may be amended by the City Council at any time.
2. Amount of sewer which may be allocated
 - a. The amount of sewer available for allocation and attributable to any designated calendar year shall be the amount given by WSACC as determined through the interlocal agreement and City Council.
 - b. The City shall reserve at least 250,000 gpd of its available sewer allocation for Economic Development projects. As Economic Development flow is allocated, non-residential flow will be used to re-balance the Economic Development reserve if available.
 - c. The City shall allot from the remaining amount 35% to residential, 55% to non-residential, and 10% to mixed use. Within the 35% residential allotment, 50% shall be allotted to single family, 25% to townhomes, and 25% to apartments. City Council at any time may transfer allocation from one category to another.
 - d. If the mixed-use allocation is exhausted, mixed-use projects may be allocated using allocations from the non-residential and residential allocations if available and approved by Council.
 - e. Public project allocation shall be assigned on a pro rata basis from all the use categories except economic development. Public project is as defined in the Concord Development Ordinance.
 - f. City Council may reserve bi-annual capacity from WSACC until the next bi-annual assessment is completed. Once City Council releases any bi-annual capacity, the capacity would be allotted to the uses as described above.
3. Preliminary Allocation approvals
 - a. City Council will be the body to approve preliminary allocation requests.
 - b. Projects (excluding Economic Development) will be presented quarterly to Council. Council will approve Economic Development projects separately.
 - c. City Council will be presented with current allocation available, and the impact of the projects presented on remaining capacity.
 - d. Residential approvals may be phased to allow a maximum of **50** units per year. The 50 units is within a project and not cumulative city-wide.
 - e. Preliminary sewer allocation will be valid for a period of one year after the date of

Council approval- or in accordance with applicable state statutes except for public projects and economic development projects. Public project's preliminary sewer allocation will remain valid until final sewer allocation is received or the project is abandoned by the public entity. Economic Development project's preliminary sewer allocation will remain valid until final sewer allocation is received or City Council rescinds the preliminary allocation. A project must have a valid preliminary sewer allocation approval before receiving a final sewer allocation at the time of utility permitting. The final sewer allocation shall not be more than the preliminary sewer allocation approved. The scope of the project and associated final sewer allocation shall not change significantly from the scope of the project that was initially approved for the original preliminary sewer allocation. City Council reserves the final determination of what constitutes a significant change, which will be determined monthly at City Council Meetings as a Regular item each month.

f. Projects may apply for one six-month extension. The extension request shall be submitted in writing and uploaded into the online permitting PSA case. The timeframe to receive extension requests will be open for two weeks prior to the preliminary sewer allocation expiration.

4. Project ~~Prioritization~~ Fact Finding

- a. The project attributes below are used as a guide for City Council to assist in the overall evaluation of projects. ~~A project with positive attributes is not automatically given allocation. A project with lower attributes is not automatically rejected for allocation. Projects are also not specifically competing against each other. The information provided by the applicant and the facts regarding the projects will be used by City Council in determining allocation.~~ The final allocation authority will be granted solely by City Council.

Residential

Located within a small area plan	Very Positive <u>Yes or No</u>
Vertical mixed use	Very Positive <u>Yes or No</u>
Redevelopment Site	Positive <u>Yes or No</u>
Horizontal mixed use	Positive <u>Yes or No</u>
Downtown (MSD)	Positive <u>Yes or No</u>
Located adjacent to existing sewer line	Positive <u>Yes or No</u>
Requires Annexation	Very Negative <u>Yes or No</u>
<u>Requires Rezoning</u>	<u>Yes or No</u>
<u>Zoning Current</u>	
<u>Zoning Proposed</u>	

Non-Residential

Adopted 12/21/21. Amended 3/10/22, 4/14/22, 11/10/22, 07/13/23, 11/14/24, 2/13/25, 6/12/25.

Office	<u>Yes or No</u> Positive
Located within a small area plan	<u>Yes or No</u> Positive
Part of an approved mixed-use plan	<u>Yes or No</u> Positive
Requires Annexation (Not economic development)	<u>Yes or No</u> Very Negative
Logistics/Distribution use	<u>Yes or No</u> Very Negative
<u>Requires Rezoning</u>	<u>Yes or No</u>
<u>Zoning Current</u>	
<u>Zoning Proposed</u>	

- b. Projects deemed Economic Development projects will be evaluated by City Council and potentially awarded an allocation through existing Economic Development processes.

- c. Speculative Industrial Buildings. Speculative Industrial Buildings under 75,000 sq ft can request to obtain a preliminary flow allocation provided the total per phase is not greater than 7,500 gpd. Speculative industrial buildings in I-2 zoning that are greater than 75,000 sf can request a preliminary flow allocation provided the total per building is not greater than 12,500 gpd. If a tenant(s) requires an allocation greater than approved it will require a separate request from City Council. Speculative buildings in I-1 zoning that are greater than 75,000 sf will only be considered once an industrial user is determined.
- 5. Additional Factors which Council may consider.
 - a. Whether in Council's opinion, the application is for a land use which is consistent with the City's adopted policies concerning growth and development.
 - b. Such other factors as may be identified by the Council in its deliberations, which either suggest that a particular application promotes or undermines the public health or safety, or the general welfare of the City.
 - c. City Council will utilize a prioritization scoring system. Council members will individually score each project from 0-5 based upon their individual evaluation of the project. The average of all council scoring will be used to facilitate discussion at the sewer allocation meeting to help determine consensus on project approvals.
- 6. Preliminary Allocation Procedures
 - a. City Staff will present Council with the projects described in 3(b) first for consideration without an application provided by the developer.
 - b. Thereafter, a preliminary allocation application will be required for proposed development. City Staff will present the applications to Council in March, June, September and December. Review of the allocation applications shall be conducted in the order in which the completed applications have been received.
 - c. Development projects requiring flow allocations as described in 1a must receive a preliminary flow allocation approval prior to submitting construction documents for review. Speculative Industrial Buildings can proceed without preliminary flow allocation only after acceptance of risk documents have been signed by the legally responsible party.

City of Concord, North Carolina
Preliminary Application – Extension of Concord Utilities outside Concord City Limits
(Please type or print in black ink)

1. Name of development: _____
2. Name and address of owner(s)/developer(s): Dustin McDonald
117 Piedmont Dr. Kannapolis 28081
3. Owner(s)/developer(s) telephone: 704-305-1790 Email: dustinmcdonald32@gmail.com
4. Name and address of surveyor/engineer: _____

5. Surveyor/engineer's telephone: _____ Email: _____
6. Name, telephone and fax number, and address of agent (if any): _____

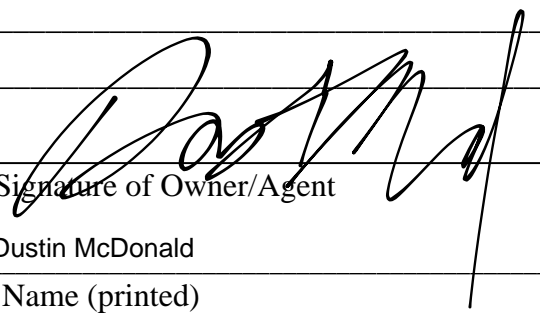
7. Name and address of person to whom comments should be sent: _____
Dustin McDonald 117 Piedmont Dr. kannapolis 28081
8. Telephone number of person to whom comments should be sent: 704-305-1790
Fax: _____ email : dustinmcdonald32@gmail.com
9. Location of property: 5097 Flowes Store Rd. Concord 28025
10. Cabarrus County P.I.N.#: 55387473440000
11. Current zoning classification: LDR
12. Total acres: 1.13 Total lots proposed: _____
13. Brief Description of development: Not in a development. home was built in late 30's early 40's

14. Proposed Construction Schedule _____

15. Type of Service requested water tap/meter

5/5/2025

Date


Signature of Owner/Agent

Dustin McDonald

Name (printed)

NOTE: By affixing his or her signature hereto, the owner/developer acknowledges understanding of and agreement to comply with all provisions of the Concord City Code section 62.

**The completed form with signature can be submitted by Email to: moores@concordnc.gov or
Mail to: City of Concord Engineering Department, PO Box 308, Concord, NC 28026**

Received by: _____ Date: _____



Date: Friday, May 16, 2025

Property Owner/Applicant:
Dustin & Madison L. McDonald
117 Piedmont Dr., Kannapolis, NC 28081

Site Development Description & Location: Preliminary water and sewer utility service inquiry at Dustin & Madison McDonald at 5097 Flowes Store Rd, Concord NC 28025 (PIN55387473440000) The approximately 1.13-acre parcel is located within the Cabarrus County jurisdiction is zoned LDR and is located within Area B of the City of Concord and Cabarrus County Central Area Agreement.

Area Water and Sewer Utility Description: The parcel is considered served by public water located within Flowes Store Road right of way. The parcel is not considered served by Concord public gravity sanitary sewer.

The property owner/developer shall be responsible for any required system modifications and/or extensions to ensure service to the proposed site development. In accordance with Chapter 62 of the Code of the City of Concord, it is the sole responsibility of the owner or the developer to extend water and sewer infrastructure from existing service points and secure any right(s)-of-way/easements as may be necessary to meet site development needs unless the needed utility extension has been identified and approved in the City's capital improvement plan.

Any upgrades to the existing infrastructure that are required to provide adequate service to the property are the financial responsibility of the owner or developer. In addition, it is the responsibility of the owner or developer to confirm all information regarding physical locations, sizes, and materials of pipes; and confirm that the water flow and pressure and sewer capacities of the existing (or any proposed) infrastructure are adequate to meet the required usage and fire protection demands in accordance with federal, state, and local codes and ordinances.

THIS IS NOT A CONTRACT, NOR IS IT AN OFFER TO CONTRACT. THIS IS NOT CONSIDERED VESTING FOR SEWER FLOW ALLOCATION APPROVAL, NOR IS CONSIDERED AN OFFER OF SEWER FLOW ALLOCATION APPROVAL BY THE CITY. Please note that the actual horizontal and vertical locations of the water and sewer mains with the associated appurtenances should be verified by survey.

In accordance with Chapter 62 of the Code of the City of Concord, it is the sole responsibility of the owner or the developer to extend water and sewer infrastructure from existing service points and secure any right(s)-of-way as may be necessary to meet project needs unless the needed utility extension has been identified and approved in the City's capital improvement plan.

The City makes no warranty of merchant ability or fitness for any purpose, express or implied, and assumes no legal responsibility for the information contained herein.

5/16/2025, 11:21:00 AM

- Hydrant

City

Pressure Main

Blow Off
- Distribution Main

Sewer Manhole

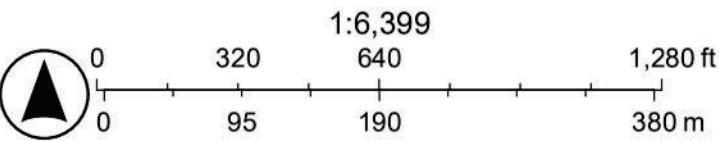
Sewer Gravity Main
- WSACC Manholes

WSACC Pipes

Parcels New
- Centerline

City of Concord

Notice
Sensitive information not to be copies or distributed without the express written consent of the City of Concord. In compliance with North Carolina Public Record Law, all information provided was created for the City's internal use. The City of Concord, its agents and employees shall not be held liable for any errors in the data. This includes errors of omission, commission, error concerning the content of the data, and relative and positional accuracy of the date. The data cannot be construed to be a legal document. Any resale of this data is strictly prohibited in accordance with North Carolina General Statute 132-10 and shall be considered confidential information vital to national security under exemption 1 and/or a trade secret or commercial information that is confidential under exemption 4 of the Freedom of Information Act.
City of Concord
PO Box 308, Concord,
North Carolina 28026-0308
704-920-5425



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CONCORD CITY COUNCIL
BOARD AND COMMISSION APPOINTMENTS (All are 3 year terms with the
exception of the Fireman's Relief Fund and the CDDC Board of Directors)

TERM EXPIRES

Alcoholic Beverage Control Board

(3 members all appointed by City) (NO LIMIT ON TERMS)

- | | | |
|----|---|---------|
| 1. | Scott Padgett | 6/30/26 |
| 2. | Alan Benson (appt. 11/10/21) term amended 3/14/24 | 6/30/25 |
| 3. | Brian Hiatt | 6/30/27 |

Fireman's Relief Fund – (no term limit)

1. Jennifer Parsley
2. Terry Crawford

Concord/Kannapolis Transit Commission

(two Council Members appointed by City of Concord)

- | | | |
|----|--------------|----------|
| 1. | Betty Stocks | 12/31/26 |
| 2. | John Sweat | 12/31/26 |

**Cabarrus-Rowan Urban Area Metropolitan Planning Organization (CRMPO); TAC and
TCC**

(One-year terms)

TAC – (2 Council Members appointed)

- | | | |
|----|----------------------------|----------|
| 1. | JC McKenzie | 12/31/25 |
| 2. | Terry Crawford – alternate | 12/31/25 |

TCC – (2 City staff members appointed)

- | | | |
|----|------------------------------|----------|
| 1. | Phillip Graham | 12/31/25 |
| 2. | Tony Tagliaferri – alternate | 12/31/25 |

Centralina Regional Council (one-year terms)

- | | | |
|----|---------------------------|----------|
| 1. | Lori Clay | 12/31/25 |
| 2. | Andy Langford – alternate | 12/31/25 |

Planning & Zoning Commission

(7 members – 6 appointed by City and 1 by County (ETJ); 2 alternates – appointed by City)
(MEMBERS CANNOT SERVE MORE THAN 2 CONSECUTIVE 3-YEAR TERMS)

- | | | |
|-----------------------------|---|---------|
| 1. | John Howard (reappointed to 2 nd term 6/9/22) | 6/30/25 |
| 2. | Maya Jones (reappointed to 2 nd term 6/9/22) | 6/30/25 |
| 3. | Jim Hays | 6/30/25 |
| 4. | DeAnne Haney | 6/30/25 |
| 5. | Phil Jones (reappt'd to 2 nd term 6/13/24) | 6/30/27 |
| 6. | Brittany Evans (reappt'd to 2 nd term 6/13/24) | 6/30/27 |
| 7. | ETJ (County appointment) | |
| Alternates: 1. Cesar Correa | | 6/30/26 |
| | 2. J King (appt'd 6/13/24) | 6/30/27 |

04/10/25

Board of Adjustment

(7 members – 6 appointed by City and 1 by County (ETJ); 2 alternates – appointed by City)
(MEMBERS CANNOT SERVE MORE THAN 2 CONSECUTIVE 3-YEAR TERMS)

1.	Steve Tice (reappointed to 2 nd term 6/9/22)	6/30/25
2.	David Niekamp (reappointed to 2 nd term 6/9/22)	6/30/25
3.	Vamsi Pola	6/30/25
4.	Cynthia Hayes	6/30/26
5.	Chuck Collier (reapptd. to 2 nd term 6/8/23)	6/30/26
6.	Coretta Grant (reapptd. to 2 nd term 6/8/23)	6/30/26
7.	ETJ member	
Alternates:	1. Antwion Riley	6/30/26
	2. VACANT	

Historic Preservation Commission (members do NOT have to reside in Historic District) (7 members and 2 alternates all appointed by City)

(MEMBERS CANNOT SERVE MORE THAN 2 CONSECUTIVE 3-YEAR TERMS)

1.	John Eury	6/30/26
2.	Steve Bradley	6/30/26
3.	Randy Hopkins	6/30/26
4.	Meredith Barbee (reappt'd to 2 nd term 6/13/24)	6/30/27
5.	Mary Margaret Underwood (reappt'd to 2 nd term 6/13/24)	6/30/27
6.	James Firth (reappt'd to 2 nd term 6/13/24)	6/30/27
7.	Sydney Yih (appt'd 6/13/24)	6/30/27

Alternates:	1. Eric Williamson (appt'd 6/13/24)	6/30/27
	2. Jason Goldstein (appt'd 6/13/24)	6/30/27

Library Board of Trustees

(County Board – City appoints 1 member and confirms 1 County appointment) (MEMBERS CANNOT SERVE MORE THAN 2 CONSECUTIVE TERMS)

City Appointment:	Amy Burns (appt'd 6/9/22)	6/30/25
Confirmed County Appointment:	Rachel Porter (appt'd 8/20)	8/31/23

WSACC

Council Appt'd:	Jennifer Parsley-Hubbard	6/30/26
-----------------	--------------------------	---------

City Member:	Jeff Corley	6/30/25
--------------	-------------	---------

Stormwater Management Advisory Committee

Group 1 - (2 members with engineering or scientific training, vocational experience, or strong personal interest in environmental mgmt. or preservation)

Group 2 - (2 members from recognized neighborhood associations)

Group 3 - (2 members from business or non-profit organizations)

At-Large Members (3)

(MEMBERS CANNOT SERVE MORE THAN 2 CONSECUTIVE TERMS)

Group 1

1.	Barry Hawkins (reapptd. to 2 nd term 6/8/23)	6/30/26
2.	Carie Irving (apptd 6/9/22)	6/30/25

Group 2

3.	Jonathan Gruber (reappt'd to 2 nd term 6/13/24)	6/30/27
4.	Don Seitz (appt'd 6/13/24)	6/30/27

04/10/25

Group 3

- | | | |
|----|---|---------|
| 5. | Emily Burkhart (reappt'd to 2 nd term 6/13/24) | 6/30/27 |
| 6. | Emily Dollberg (appt'd 6/13/24) | 6/30/27 |

At large members

- | | | |
|----|---|---------|
| 7. | Kristin Roland (reappt'd to 2 nd term 6/13/24) | 6/30/27 |
| 8. | Jack Lambert (appt'd 6/13/24) | 6/30/27 |

At the June 8, 2017 City Council mtg, the Council voted to adopt Ord. #17-46 to amend the Chapter 60 of the City Code. The amendment reduced the number of members in each group from three (3) members to two (2) members and the remaining three (3) members were appointed as Members At Large.

CDDC Board of Directors – (one-year term)

City Member:	Josh Smith	6/30/25
--------------	------------	---------

Public Art Commission

* At the November 13, 2014 City Council meeting, the Council voted to establish a permanent 10 member Public Art Advisory Committee to facilitate delegated City funded art projects, identify potential project areas within Center City, and to make recommendations on potential (if any) zoning / development regulations as it relates to public art and encourage privately funded “public” art projects.

** At the March 11, 2021 City Council meeting, the Council voted to include a staff member from the City’s Parks and Recreation Department and also to include 3 at-large members.

*** At the February 9, 2023 City Council meeting, the Council voted to re-organize the Public Art Advisory Committee to be a citizen-based Public Art Commission.

The Commission shall consist of not more than 15 members to include 11 voting members appointed by the City Council, and up to four nonvoting members of City staff appointed by the City Manager. In order to create a rotating membership, Council shall appoint three (3) commissioners with an initial term of one (1) year; (3) commissioners with an initial term of two (2) years and four (4) commissioners with an initial term of three (3) years.

- | | | |
|----|---|---------|
| 1. | Barbara Propst (District 1) (appt'd to 3-yr term 6/13/24) | 6/30/27 |
| 2. | Jeff Faggart (District 2) | 6/30/25 |
| 3. | Doyle Bussey (District 3) | 6/30/26 |
| 4. | Michael Askin (District 4) (appt'd to 3-yr term 6/13/24) | 6/30/27 |
| 5. | Deepa Prabhakar (District 5) | 6/30/25 |
| 6. | Vacant - Danielle Player (District 6) RESIGNED | 6/30/26 |
| 7. | Vacant (District 7) | |

At large members

- | | | |
|----|----------------------------------|---------|
| 1. | Bodunrin Ladele (appt'd 6/13/24) | 6/30/27 |
| 2. | Jonathan Ewart | 6/30/26 |
| 3. | Carter Thomas | 6/30/26 |

Ex Officio Members (City staff)

- | | |
|----|--------------------------------------|
| 1. | Taylor Morris (Parks and Recreation) |
|----|--------------------------------------|
- 04/10/25

2. Kaylee Caton (Planning & Neighborhood Dev. Services)
3. Joel White (Buildings and Grounds)

Standing Member (Cabarrus Arts Council Executive Director or designee)
Liz Fitzgerald

Commission Liaison

Sarah Gay, ClearWater Arts Coordinator

Concord United Committee

At the February 11, 2021 City Council meeting, the Council approved the establishment of the Concord United Committee.

In order to stagger the terms of office, one-third of initial appointments will be for 1 year, one-third of initial appointments will be for 2 years, and the one-third of initial appointments will be for 3 years.

Members shall have three-year appointments following initial appointments.

*Bob Anderson (second 3-yr term)	4/30/28 – Co-Chair
*Quinton Locklear (second 3-yr term)	4/30/28 – Co-Chair
*Michelle Joshua (filling unexp. tm. of Joe DeJesus)	4/30/27 – Co-Chair

*Aimy Steele (second 3-yr term)	4/30/28
*Cecilia Perz (first full 3-yr term)	4/30/28
William Porter (first full 3-yr term)	4/30/28

VACANT
VACANT

**Amos McClorey	4/30/26
**Kay Tembo	4/30/26
**Cindy Hanson	4/30/26
**Douglas Carroll	4/30/26
**Gracie Galloway	4/30/26
**Ingrid Nurse	4/30/26
**Jaymond Bryant-Herron	4/30/26
**Ann Fleming	4/30/26

***Wendy McConnell (filling unexp. tm of Jennifer Terris)	4/30/27
***Uda Kumar (first 3-yr term)	4/30/27
***Rayshion Sashington	4/30/27
***Sandra Torres	4/30/27
***Theresa Scott-Stills	4/30/27
Laura Aguilar (appt'd 9/12/24-fillign unexp. tm. of Lyndia G)	4/30/27

VACANT
VACANT

*Reappointed to first 3-year term at the April 14, 2022 Council Meeting

**Reappointed to first 3-year term at the May 11, 2023 Council Meeting

***Reappointed to second 3-year term at the 4/23/24 2nd Work Session, with exception of Uda Kumar

04/10/25

RECORD 273

THIS INDENTURE, Made this the 13th day of July in the year of our Lord one thousand, nine hundred and Fifty Seven Between

Zula Patterson Brown (widow)

of the County of Cabarrus and State of North Carolina, part Y of the first part, and

Harold Goodman Post No. 172, American Legion

of the County of Cabarrus and State of North Carolina, part Y of the second part

WITNESSETH, That the said part Y of the first part, for and in consideration of the sum of One Hundred Dollars and Other Valuable Considerations to the said part Y of the first part, in hand paid, the receipt whereof is hereby acknowledged, has he bargained, sold and conveyed, and by these presents do he bargain, sell and convey, unto the said part Y of the second part, its successors heirs and assigns

the following described real estate, situate, lying and being in the County of Cabarrus No. 11 Township and State of North Carolina, bounded and described as follows, to wit:

Lying and being in No. 11 Township, Cabarrus County, North Carolina, west of Buffalo Creek and North of U.S. Highway No. 29 A, being a part of the James L Brown farm property, bounded and described as follows:

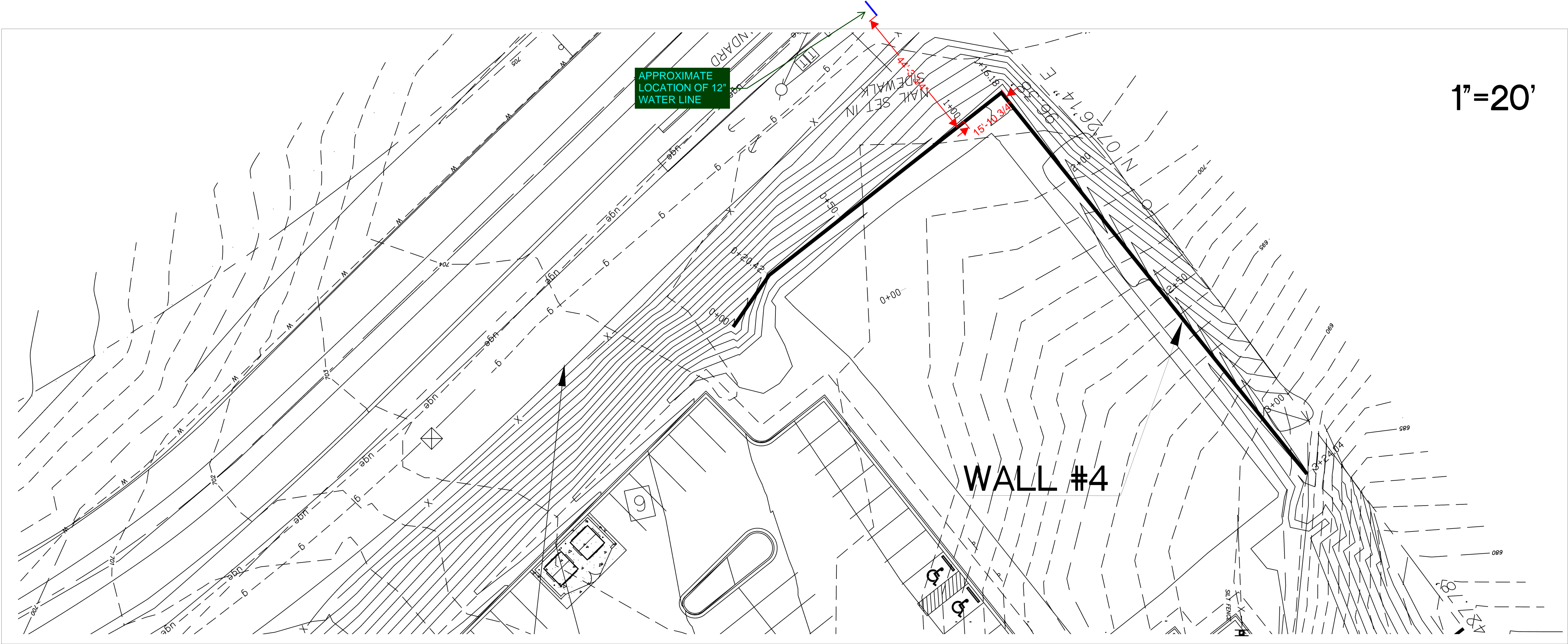
Beginning at an iron stake in the west edge of an old dirt road which leads to U.S. Highway No. 29A (said iron stake having a bearing of N. 22-15 E. 185 feet from an iron stake, corner of Cannon Mills Company and Rosa Marie Widenhouse) and runs thence N. 69-18 W. (passing an iron stake in the line at 5.0 feet) a distance of 316.2 feet to an iron stake, a new corner; thence a new line S. 24-00 W. 594.2 feet to a concrete monument in the line of Cannon Mills Company; thence with the line of Cannon Mills Company S. 65-45 E. 334.2 feet to a concrete monument; thence with the line of Cannon Mills Company, N. 22-15 E. 429 feet to an iron stake, corner of Rosa Marie Widenhouse; thence with the Widenhouse line N. 22-15 E. 185 feet to the Beginning, containing 4.55 acres, more or less, as surveyed and platted by Brown Engineering Company, June 7, 1957.

For chain of title, reference is made to Deed book no. 150 page 296 and will book no. 9 page 542.

This conveyance is made and accepted subject to the condition and restriction that the above described real property shall not be conveyed or encumbered without the written approval of the duly constituted authorities of the City of Concord, North Carolina, which condition and restriction shall apply only to the party of the second part.

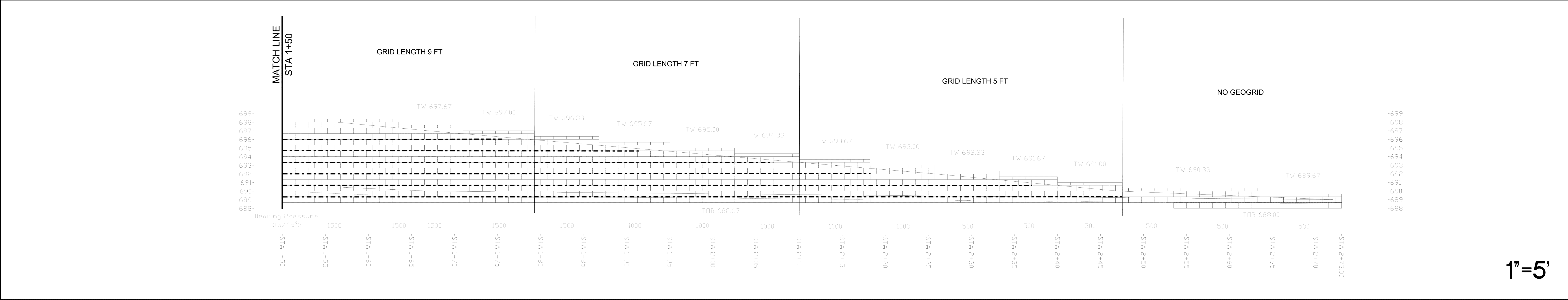
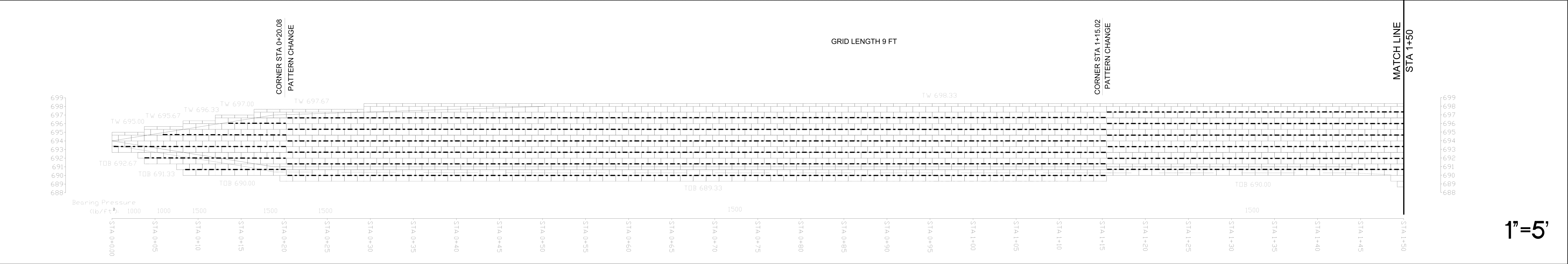
This conveyance is made subject to any existing valid easements of record, without reimposing the same.

I. R. Stamp \$1.65



PLAN VIEW FOR WALL #4

GEOGRID: - - - - -
ALL GRIDS: GRIDLOK 270
TOB: TOP OF BASE
TW: TOP OF WALL



DATE

REV

PROJECT NUMBER

PROJECT TITLE

DESIGNED BY

CHECKED BY

IN CHARGE

DATE

PROJECT NUMBER

PROJECT TITLE

DESIGNED BY

CHECKED BY

IN CHARGE

DATE

GEOSCIENCE GROUP

5000 Canton Road

Concord, NC 28025

Phone: 704.525.2000

Fax: 704.525.2001

www.geosciencengr.com

NC REG. LICENSE # 27090

CHRISTENBURY VILLAGE
CONCORD, NORTH CAROLINA



RETAINING WALL PROFILES
WALL #4

RW
1.1

Statement of Special Inspections

Project: Christenbury Village
Location: Concord, Cabarrus County, N.C.
Owner: MPV Properties, LLC
Design Engineer of Record: Geoscience Group, Inc.

This Statement of Special Inspections is submitted as a condition for permit issuance in accordance with the Special Inspection requirements of the North Carolina State Building Code. It includes a Schedule of Special Inspection Services applicable to this project.

The Special Inspector shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Designer of Record. Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Designer of Record. The Special Inspections program does not relieve the Contractor of his or her responsibilities.

Interim reports shall be submitted to the Building Official, Owner, and the Designer of Record.

Interim Report Frequency: Monthly

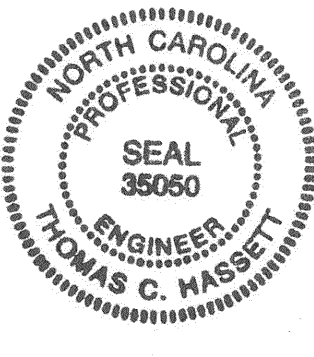
A Final Report of Special Inspections documenting completion of all required Special Inspections and correction of any discrepancies should be submitted to the Building Official and the Registered Design Professional In Responsible Charge at the conclusion of the project.

Job Site safety and means and methods of construction are solely the responsibility of the Contractor.

Respectfully Submitted,
The Registered Design Professional in Responsible Charge,

Signature Date
Thomas C. Hassett, P.E.

Name



Licensed Professional Seal

General Notes

Part 1: General

- 1.01 Delivery, Storage and Handling
- The Contractor shall inspect the materials upon delivery to assure that the proper material has been received.
 - The Contractor shall store and handle materials so as to protect materials from damage. Damaged material shall not be incorporated into the segmental retaining wall.
 - The Geosynthetic Reinforcement shall be stored and handled so as to prevent prolonged exposure to UV rays.

Part 2: Materials

- 2.01 Wall 3 Concrete Segmental Retaining Wall (SRW) Units
- SRW units shall be Redi-Rock retaining wall units. Unit Sizes: 28" (710mm), 41" (1030 mm), or 60" (15620 mm) as noted on the plans.
 - Concrete segmental retaining wall units shall be wet-cast precast modular retaining wall units conforming to ASTM C1776 and have a minimum 28 days compressive strength strength of 4000 psi. The units shall have adequate freeze/thaw protection.
 - All SRW units shall be sound and free of cracks or other defects that would interfere with the placement or performance of the units.
 - The precast modular block units shall be manufactured with integrally cast shear knobs that establish a standard horizontal set-back for subsequent block courses. The precast modular block system shall be configured for the 5.2" batter option.
- 2.02 Wall 4 Concrete Segmental Retaining Wall (SRW) Units
- SRW units shall be Ridgerock retaining wall units. Unit Size: 8" (203 mm) (H) x 12" (304 mm)(D) minimum x 18 inches (457 mm) (W).
 - Concrete segmental retaining wall units shall conform to the requirements of NCMA TEK 2-4 and have a minimum 28 days compressive strength strength of 3000 psi and a maximum absorption of 13 pcf as determined in accordance with ASTM C140. The units shall have adequate freeze/thaw protection and meet the requirements of ASTM C1262.
 - All SRW units shall be sound and free of cracks or other defects that would interfere with the placement or performance of the units.
 - SRW unit dimensions shall not differ more than ±1/8 inch, except for height, which shall not differ more than ±1/16 inch, as measured in accordance with ASTM C140.
 - Retaining wall units shall be interlocked by means of integral concrete lugs or other mechanical connection.
 - Vertical setback: 1/2 inch ± per course per the design.
 - Cap adhesive shall meet the requirements of the retaining wall supplier.
- 2.03 Geosynthetic Reinforcement
- Wall 3 Geosynthetic Reinforcement shall consist of Gridlok 540.
 - Wall 4 Geosynthetic Reinforcement shall consist of Gridlok 270.
 - The geosynthetic type, strength and placement shall be as shown on the plans.
- 2.04 Drainage Aggregate
- Drainage aggregate shall be a clean crushed stone that meets the ASTM C33 criteria for No. 57 Stone.
- 2.05 Reinforced Backfill
- Soils placed in the reinforced zone shall not contain organic matter or other deleterious materials. Frozen soils snow, ice, heavy clays, or wet soils shall not be allowed. Material passing the #40 sieve shall have a liquid limit of less than 40 and a plasticity index less than 20.
 - Fill material used to construct the reinforced zone shall consist of one of the following inorganic soil types according to their USCS designations (GP, GW, SW, SP, SM). The fill material must also meet the gradation below:
- | Sieve Size | Percent Passing |
|------------|-----------------|
| 3/4-inch | 75-100 |
| No. 4 | 20-100 |
| No. 40 | 0-60 |
| No. 200 | 0-35 |
- The pH of the backfill soil shall be between 5 and 8 when tested in accordance with ASTM 651.

- 2.06 Soil Strength Properties
- The Retaining Walls were designed assuming that the soils associated with the reinforced zone, the retained zone, and the foundation zone have the following properties:
- Foundation Soils: $\phi = 28^\circ$, cohesion = 60 psf, unit weight = 120 pcf (moist)
Retained Soils: $\phi = 28^\circ$, cohesion = 0 psf, unit weight = 120 pcf (moist)
Reinforced Soils: $\phi = 29^\circ$, cohesion = 0 psf, unit weight = 125 pcf (moist)
- If the above information does not represent the actual soil conditions, Geoscience shall be notified immediately, the new soil parameters shall be submitted to Geoscience, and the wall or walls will be required to be redesigned. Payment for all design revisions is the responsibility of the Owner and/or General Contractor.

- 2.07 Drainage pipe
- The drainage collection pipe shall be perforated or slotted, PVC or corrugated HDPE pipe.
 - Drainage pipe shall be manufactured in accordance with ASTM D 3034 and/or ASTM D 1248

Part 3: Installation

- 3.01 Excavation
- Contractor shall excavate to the lines and grades shown on the grading plans.
- 3.02 Foundation Preparation
- The foundation soil shall be excavated to the leveling pad dimensions indicated on the plans.
 - The foundation soil shall be evaluated by Geoscience to confirm the design bearing strength of the foundation soils. Soils not meeting the design bearing strength shall be replaced with suitable fill.
- 3.03 Leveling Pad Installation
- A minimum 12 inch thick layer of compacted granular material shall be placed as shown on the construction drawings.
 - The granular base shall be compacted to 95% of the maximum Standard Proctor density. The base shall be capable of providing a firm level bearing pad on which to place the first course of Ridgerock Segmental Retaining Wall Units.
 - The leveling pads shall be prepared to insure full contact with the base surface of the concrete units.
- 3.04 Wall 3 Retaining Wall Unit Installation
- The precast modular block structure shall be constructed in accordance with the construction drawings, these specifications and the recommendations of the retaining wall system component manufacturers. Where conflict exist between the manufacturer's recommendations and these specifications, these specifications shall prevail.
 - The first course of block units shall be placed with the front face edges tightly abutted together on adjacent blocks, on the prepared leveling pad at the locations and elevations shown on the construction drawings. The Contractor shall take special care to ensure that the bottom course of block units are in full contact with the leveling pad, are set level and true and are properly aligned according to the locations shown on the construction drawings.
 - Backfill shall be placed in front of the bottom course of blocks prior to placement of subsequent block courses. Nonwoven geotextile fabric shall be placed in the V-shaped joints between adjacent blocks. Drainage aggregate shall be placed in the V-shaped joints between adjacent blocks, and extend to a minimum distance of 12" (300 mm) behind the block unit.
 - Drainage aggregate shall be placed in 9 inch to 12 inch maximum lifts (as specified by the Engineer) and compacted by a minimum of three (3) passes of a vibratory plate compactor capable exerting a minimum of 2,000 lb (8.9 kN) of centrifugal force, or by other suitable compaction methods.
 - Nonwoven geotextile fabric shall be placed between the drainage aggregate and the retained soil (gravity wall design) if required on the retaining wall construction drawings.
 - Subsequent courses of block units shall be installed with a running bond (approximate half block horizontal course-to-course offset). With the exception of 90 degree corner units, the shear channel of the upper block shall be fully engaged with the shear knobs of the block course below. The upper block course shall be pushed forward to fully engage the interface shear key between the blocks and to ensure consistent face batter and wall alignment. Drainage aggregate, unit core fill, geotextile and properly compacted backfill shall be complete and in -place for each course of block units before the next course of blocks is stacked.
- 3.05 Wall 4 Retaining Wall Unit Installation
- First course of units shall be placed on the leveling pad at the appropriate line and grade. Alignment and level shall be checked in all directions and insure that all units are in full contact with the base and properly seated.
 - Place the front of units side-by-side. Do not leave gaps between adjacent units. Layout of corners and curves shall be in accordance with manufacturer's recommendations.
 - Place and compact drainage fill within and behind wall units. Place and compact reinforced backfill soil behind drainage fill.
 - Extend the drainage aggregate a minimum of 12 inches behind the retaining wall units.
 - Maximum stacked vertical height of wall units, prior to drainage fill and backfill placement and compaction, shall not exceed one course.
 - Clean the top of the units so that they are free of aggregate.
 - Terminate the end of the wall by turning the units at a radius into the embankment or tapering the top of wall with the desired slope.

- 3.06 Cap Unit Installation
- Prior to placement of the cap units, the upper surface of the top course of wall units shall be cleaned of soil and any other material.
 - Place the Cap Unit over the last course of retaining wall units.
 - Saw cut block as needed.
 - Cap units shall be adequately glued to the underlying wall units with an all-weather exterior construction adhesive.

- 3.07 Geosynthetic Installation
- Geogrid shall be installed with the highest strength direction perpendicular to the wall alignment.
 - Geogrid reinforcement shall be placed at the strengths, lengths and elevations shown on the construction drawings, or as directed by the engineer.
 - The geosynthetic shall be installed by placing the primary strength direction of the product over the Ridgerock Unit (extended to the face of the unit), placing the next course of retaining wall units over the geosynthetic and pulling the geosynthetic taut. Anchor the end of the geosynthetic with pins or stakes to maintain tension prior to fill placement.
 - Geogrid reinforcements shall be continuous throughout their embedment lengths and placed side-by-side to provide 100% coverage at each level. Spliced connections between shorter pieces of geogrid or gaps greater than 2 inches between adjacent pieces of geogrid are not permitted.
- 3.08 Backfill Placement
- Reinforced backfill shall be placed, spread and compacted in such a manner that minimizes the development of slack in the geogrid and installation damage to the geogrid.
 - Reinforced backfill shall be placed and compacted in lifts not to exceed 6 inches (150 mm) where hand operated compaction equipment is used, or 8 - 10 inches (200 to 250 mm) where heavy compaction equipment is used. Lift thickness shall be decreased to achieve the required density, as needed.
 - Reinforced backfill shall be compacted to a minimum of 95% of Standard Proctor density per ASTM D697. The moisture content of the reinforced backfill material during compaction shall be uniformly distributed throughout each layer and shall be within 2 percentage points of optimum moisture.
 - Only hand operated compaction equipment shall be allowed within 3 feet (1 M) from the back of the Ridgerock units.
 - Tracked construction equipment shall not be operated directly upon the geogrid reinforcement. A minimum fill thickness of 6 inches (150 mm) is required prior to operation of tracked vehicles over the geogrid. Tracked vehicle turning should be kept to a minimum to prevent tracks from displacing the fill and damaging or displacing the Ridgerock units or geogrid.
 - Rubber tired equipment may pass over geogrid reinforcement at slow speeds, less than 10 MPH. Sudden braking and turning shall be avoided.
 - At the end of each day's operation, the Contractor shall slope the last lift of reinforced backfill away from the wall units to direct runoff away from the wall face. The Contractor shall not allow surface runoff from adjacent areas to enter the wall construction site.
- 3.09 Drainage Fill Placement
- The drainage fill shall be placed as directed on the construction plans.
 - Install a minimum 4 inch drainage pipe behind the base of the wall to collect drainage from the drainage fill. The drainage collection pipe should daylight into a storm sewer manhole or along a slope at an elevation which is at a lower elevation than the lowest point within the aggregate drain.
 - Drainage laterals shall be placed at a maximum of 40 feet spacing along the wall face.

Part 4: Special Provisions

- 4.01 Soil Testing
- Quality assurance shall include foundation soil inspection and testing and verification of the geotechnical design parameters and verification that the contractor's quality control testing is adequate as a minimum. Quality assurance shall also include observation of the construction for general compliance with the design drawings and project specifications.
 - Compaction testing shall be performed within the reinforced zone for every lift elevation requiring geogrid or every 3rd lift as a minimum. Tests shall be performed for at least every 100 linear feet of wall face.
- 4.02 Hydrostatic Pressure Potential
- Geoscience shall be notified if any of the following should become evident: water or wetness from or in a cut bank; local springs, local storm drains, sewers, water lines under or behind the wall.
- 4.03 Other Provisions
- General contractor shall coordinate upper geogrid layers installation with fence post foundation and utilities installation.
 - Maintain the direction of drainage away from the wall face at all times during construction of the wall and finish grading as shown on plans.

Part 5: Qualifications Of Design

- 5.01 Qualification of Design
- Stability of any temporary slopes required by the installation of the segmental retaining wall shall be addressed by a qualified Geotechnical Engineer. Responsibility of these temporary slopes rests with the Owner and/or Architect of this project and the slopes shall meet all OSHA standards of maximum slope steepness. Handrail/guardrail requirements shall be determined by the Architect or General Contractor.

The following Special Inspections are required for this project: (C= continuous, P=periodic)

SPECIAL CASES (Refer to NCBC Section 1705.1.1)

Check if required	Inspection Task	C	P	Standard	Notes / Comments
<input type="checkbox"/>	Construction materials and systems that are alternatives to materials and systems prescribed by the 2018 NCBC	<input type="checkbox"/>	<input type="checkbox"/>	NCBC 1705.1.1, #1	
<input type="checkbox"/>	Unusual design applications of materials described in the 2018 NCBC	<input type="checkbox"/>	<input type="checkbox"/>	NCBC 1705.1.1, #2	
<input type="checkbox"/>	Materials and systems required to be installed in accordance with additional manufacturer's instructions that prescribe requirements not contained in this code or in standards referenced by this code			NCBC 1705.1.1, #3	
<input type="checkbox"/>	Special Events (as decided / required by Code Enforcement)	<input type="checkbox"/>	<input type="checkbox"/>		
<input checked="" type="checkbox"/>	Retaining Walls	<input checked="" type="checkbox"/>	<input type="checkbox"/>		

SOILS (Refer to NCBC Table 1705.6 & Section 1705.6)

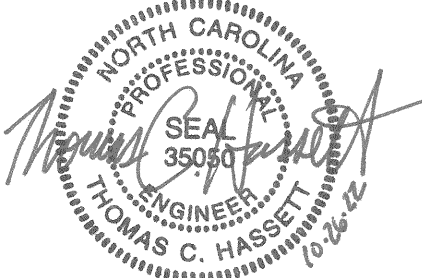
Check if required	Inspection Task	C	P	Standard	Notes / Comments
<input checked="" type="checkbox"/>	1. Verify materials below shallow foundation are adequate to achieve the design bearing capacity		<input checked="" type="checkbox"/>	NCBC 1705.6; geotechnical report & construction documents from RDP/IRC	See NCBC 1705.6 exception
<input checked="" type="checkbox"/>	2. Verify excavations are extended to proper depth and have reached proper material		<input checked="" type="checkbox"/>	NCBC 1705.6; geotechnical report & construction documents from RDP/IRC	
<input checked="" type="checkbox"/>	3. Perform classification and testing of compacted fill materials		<input checked="" type="checkbox"/>	NCBC 1705.6; geotechnical report & construction documents from RDP/IRC	
<input checked="" type="checkbox"/>	4. Verify use of proper materials, densities and lift thicknesses during placement and compaction of compacted fill		<input checked="" type="checkbox"/>	NCBC 1705.6; geotechnical report & construction documents from RDP/IRC	
<input checked="" type="checkbox"/>	5. Prior to placement of compacted fill, inspect sub-grade and verify that site has been prepared properly		<input checked="" type="checkbox"/>	NCBC 1705.6; geotechnical report & construction documents from RDP/IRC	

DATE	
PROJECT NO.	
DRAWN BY	
CHECKED BY	
INCHES	
FEET	
SCALE	
PROJECT NAME	
PROJECT LOCATION	
PROJECT DATE	

GEOSCIENCE GROUP
3500 Cabarrus Road
Concord, NC 28027
Phone: 704.525.2001
Fax: 704.525.2002
www.geosciencegroup.com
N.C. PROFESSIONAL ENGINEER

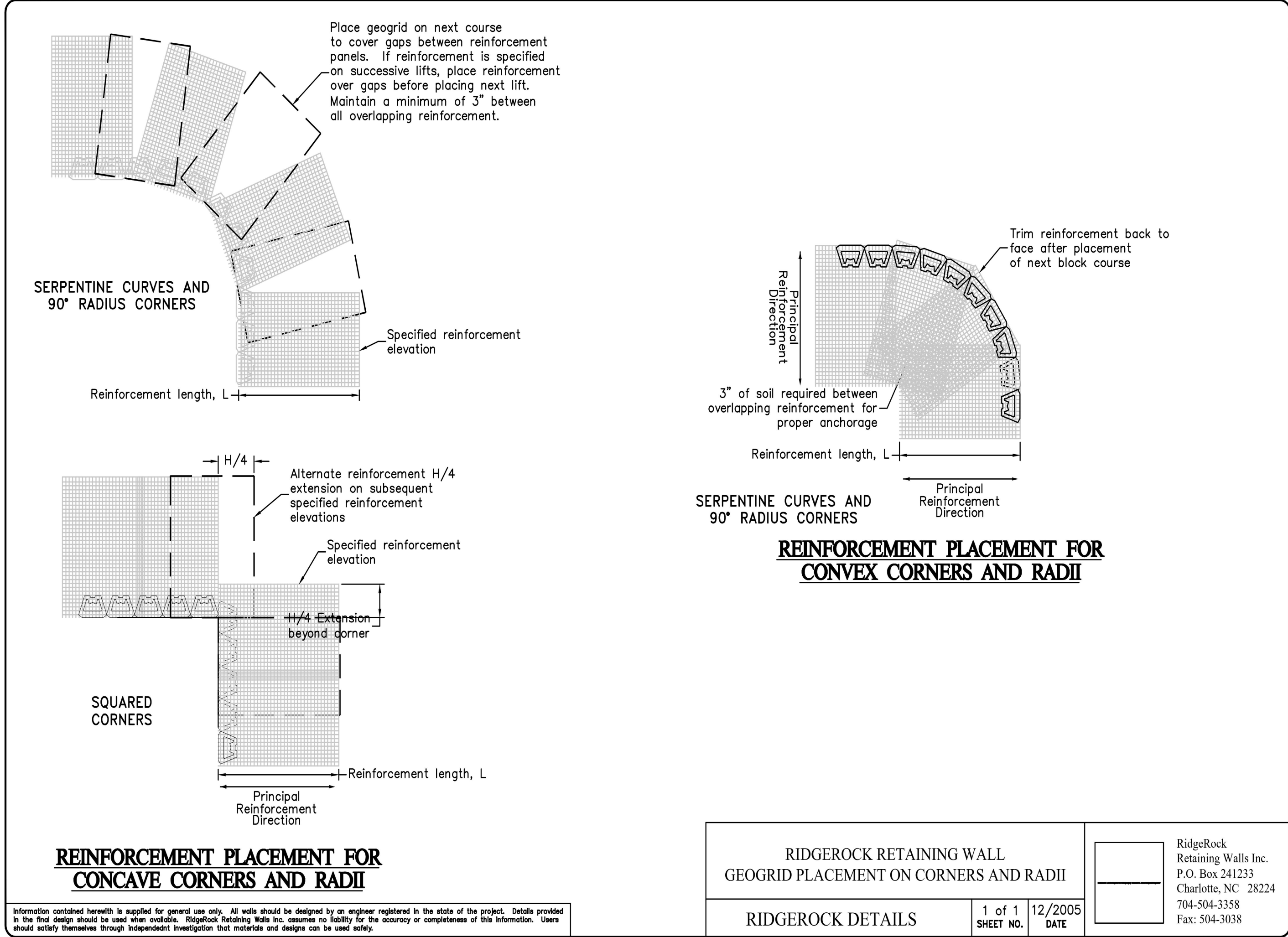
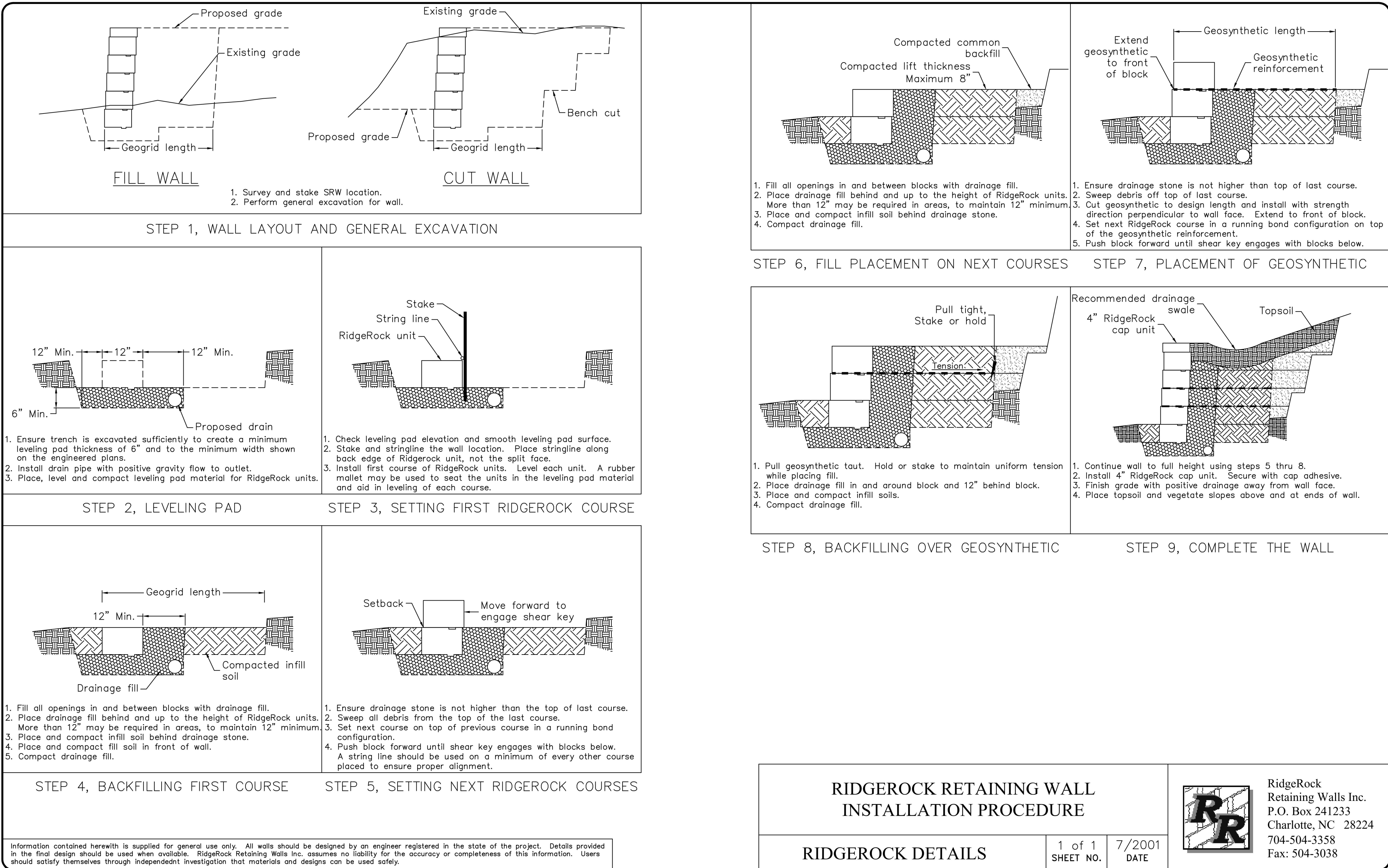
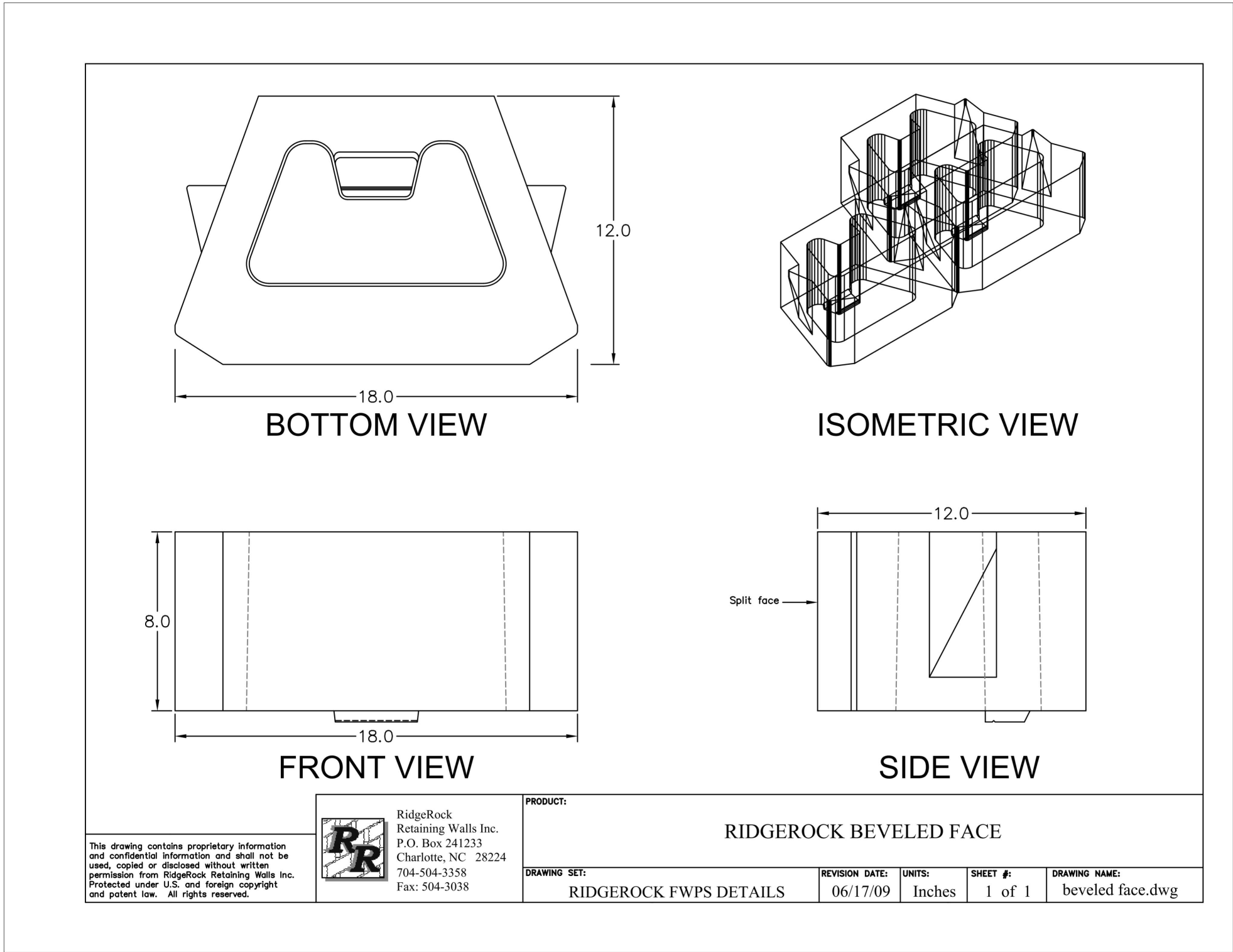
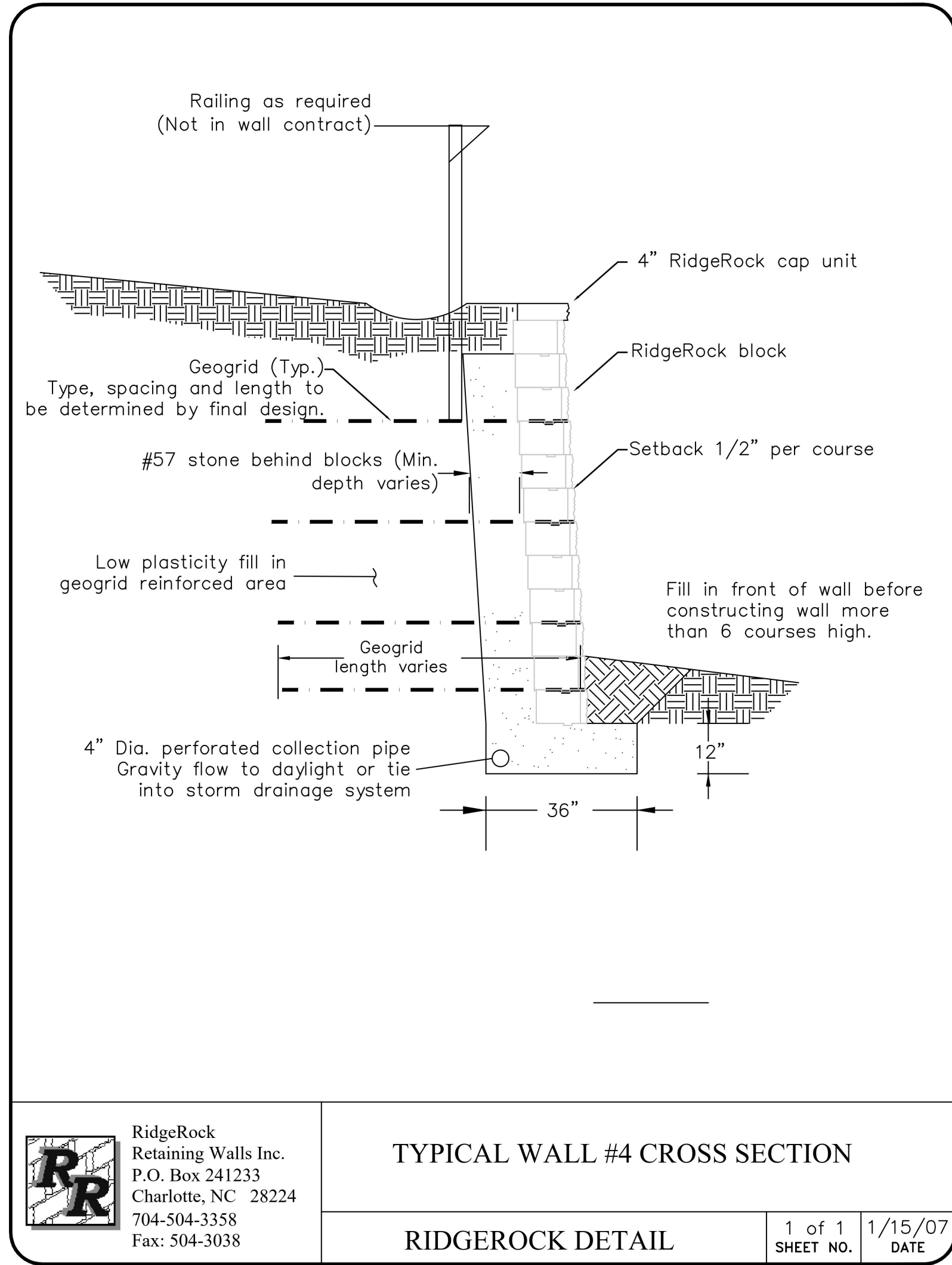
CHRISTENBURY VILLAGE

CONCORD, NORTH CAROLINA



RETAINING WALL NOTES

RW
2.0



CHRISTENBURY VILLAGE

CONCORD, NORTH CAROLINA



WALL #4 DETAILS

RW

2.2

GEOSCIENCE GROUP

PROJECT MANAGER: [Signature]
DESIGNER: [Signature]
CHECKER: [Signature]
DATE: 12/22/09

GEOSCIENCE GROUP
5000 Canyon Road
Charlotte, NC 28224
Phone: 704.504.3358
Fax: 504.303.8001
www.geosciencegroup.com
NC REG. LICENSE # 27094

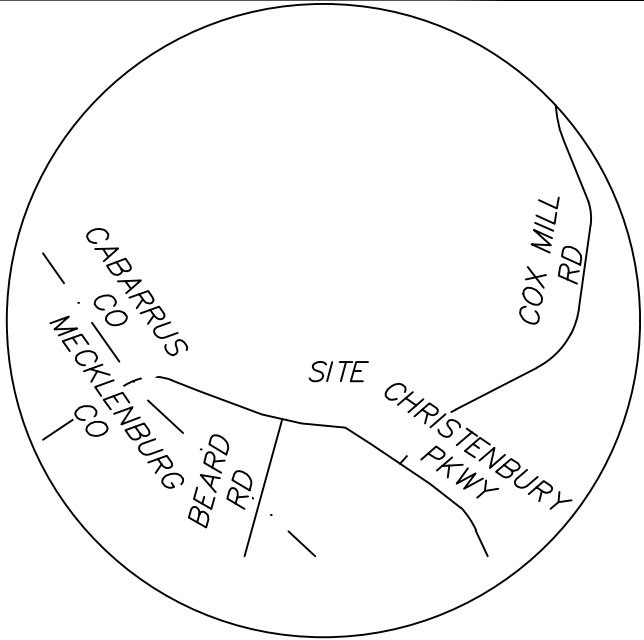
SURVEYOR'S CERTIFICATE

I, WALTER B. KEEVER, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (PLAT RECORDED IN MAP BOOK 101, PAGE 49); THAT THE RATIO OF PRECISION AS CALCULATED IS 1:10,000+; AND THAT THIS MAP MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600). THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, AND THAT PER NC GS 47-30 11(c)(1) THAT THE SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND OR ONE OR MORE "EXISTING EASEMENT" IS AN AREA OF LAND DESCRIBED IN A SINGLE, LEGAL DESCRIPTION OR LEGALLY RECORDED SUBDIVISION THAT HAS BEEN OR MAY BE LEGALLY CONVEYED TO A NEW OWNER BY DEED IN ITS EXISTING CONFIGURATION. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 6th DAY OF May 2025.

WALTER B. KEEVER PROFESSIONAL LAND SURVEYOR L-5244

05/06/2025
DATE

EXHIBIT A



VICINITY MAP
1"=2000'

LOT 2
LANDS N/F
CHRISTENBURY INVESTORS,
LLC, A NC LLC
T.P. ID: 4589-17-9961
M.B. 101, PG. 49
ZONED: PUD

- A EXISTING 10' ELECTRIC UTILITY ESM'T
- B EXISTING 5' SIDEWALK UTILITY ESM'T
- C EXISTING PUBLIC ELECTRIC UTILITY ESM'T

COMMON OPEN SPACE
CHRISTENBURY
VILLAGE A
PHASE 1
M.B. 49, PG. 70
ZONED: PUD

PORTION OF PUBLIC WATER
ESM'T/PUBLIC UTILITY
ESM'T - PHASE 1 RTAP
TO BE VACATED (419.0 SQ.
FT. OR 0.010 AC)

PORTION OF PUBLIC WATER
ESM'T/PUBLIC UTILITY
ESM'T - PHASE 1 RTAP
TO REMAIN (553.1 SQ. FT.
OR 0.013 AC)

REBAR(F)
N: 597814.72
E: 1481756.14

188.3± TO
CHRISTENBURY
HALL DRIVE NW

CHRISTENBURY PARKWAY
S.R. 2894
(120' PUBLIC R/W)
~ D.B. 5534, PG 108 ~

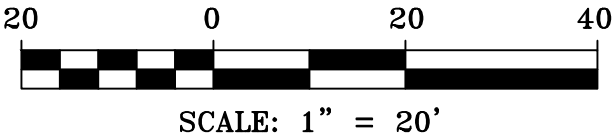
REBAR(F)
N: 597803.79
E: 1481853.04

PARCEL LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	17.50	N06° 13' 18"E
L2	31.50	S83° 46' 42"E
L3	17.62	S06° 13' 18"W
L4	13.30	N06° 13' 18"E
L5	31.50	S83° 46' 42"E
L6	13.30	S06° 13' 18"W
L7	31.50	N83° 46' 42"W

NCGS MONUMENT
"M027"
N: 587670.258
E: 1490742.146
(NAD 83 2011)

LEGEND

- PARCEL BOUNDARY
- ADJACENT PARCELS
- (F) FOUND
- EXISTING MONUMENTATION



EASEMENT EXHIBIT
FOR

CHRISTENBURY VILLAGE
TAX PARCEL ID: 4589-17-9961
MAP BOOK 101, PG. 48-61,
IN THE CITY OF CONCORD,
CARRABUS COUNTY, NORTH CAROLINA

DRAWN BY: WBK

DATE: MAY 06, 2025

KPLS, PLLC
3300 SU SAN
FARMS ROAD
GASTONIA, NC 28056
LICENSE No.: P-2161

RESOLUTION TO APPROVE THE ABANDONMENT OF WATER EASEMENT

WHEREAS, the City of Concord, a North Carolina municipal corporation ("City") acquired a water easement on July 24, 2024, in Map Book 101, at Pages 48-61 of the Cabarrus County Registry for the purpose of providing water services to properties located along Christenbury Parkway (SR 2894), Herrons Nest Place NW, Camden Town Drive NW, Cox Mill Road (SR 1448), Scott Padgett Parkway NW, and John Q. Hammonds Drive NW; and

WHEREAS, it has been determined that a portion of the existing water easement, more specifically defined as a 419.0 square feet or 0.010 acre, more or less, is no longer needed by the City to provide water services to properties located along Christenbury Parkway (SR 2894), Herrons Nest Place NW, Camden Town Drive NW, Cox Mill Road (SR 1448), Scott Padgett Parkway NW, and John Q. Hammonds Drive NW; and

WHEREAS, the development potential of PIN 4589-17-9961 is inhibited by a portion of the easement, that is no longer needed by the City; and

WHEREAS, it has been determined that 419.0 Square Feet or 0.010 acres, a portion of the existing water easement designated for abandonment is no longer needed by the City of Concord for its use and that the release of said easement would not be contrary to the public interest; and

WHEREAS, the City has deemed that 419 Square Feet or 0.010 acres of this existing water easement, as described below and shown in Exhibit A, is surplus to the needs of the City.

NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CONCORD, THAT:

1. The City Council abandons the water easement as described below:

Description of the Water Easement

P/O Property Identification Number: 4589-17-9961

Said Water Easement being located in the City of Concord, North Carolina and described more particularly as follows:

BEGINNING AT A REBAR FOUND, HAVING COORDINATES OF N: 597814.72, E: 1481756.14, BEING A COMMON POINT OF LANDS NOW OR FORMERLY, COMMON OPEN SPACE OF CHRISTENBURY VILLAGE, VILLAGE A (MAP BOOK 49, PAGE 70), LOCATED IN THE NORTHERN RIGHT-OF-WAY LINE OF CHRISTENBURY PARKWAY, SAID POINT BEING THE **POINT OF COMMENCEMENT**; THENCE RUNNING ALONG THE NORTHERN RIGHT-OF-WAY LINE OF CHRISTENBURY PARKWAY, SOUTH 83 DEGREES 34 MINUTES 01 SECONDS EAST, A DISTANCE OF 11.86 FEET; THENCE NORTH 06 DEGREES 13 MINUTES 18 SECONDS EAST, A DISTANCE OF 17.50 FEET (L1) TO THE **POINT OF BEGINNING** OF THE EASEMENT TO BE VACATED; THENCE ALONG THE FOUR (4) COURSES AND DISTANCES OF THE PORTION OF PUBLIC WATER EASEMENT/PUBLIC UTILITY EASEMENT – PHASE 1 RTAP TO BE VACATED:

1. NORTH 06 DEGREES 13 MINUTES 18 SECONDS EAST, A DISTANCE OF 13.30 FEET (L4) TO A POINT; THENCE,
2. SOUTH 83 DEGREES 46 MINUTES 42 SECONDS EAST, A DISTANCE OF 31.50 FEET (L5) TO A POINT; THENCE,
3. SOUTH 06 DEGREES 13 MINUTES 18 SECONDS WEST, A DISTANCE OF 13.30 FEET (L6) TO A POINT; THENCE

4. NORTH 83 DEGREES 46 MINUTES 42 SECONDS WEST, A DISTANCE OF 31.50 FEET TO THE SAID POINT OF BEGINNING, CONTAINING 419.0 SQUARE FEET OR 0.010 ACRES, MORE OR LESS AS SHOWN ON MAP TITLED, "EASEMENT EXHIBIT FOR CHRISTENBURY VILLAGE" DATED MAY 6, 2025, BY KPLS, PLLC AND IS ATTACHED AS EXHIBIT A FOR FURTHER REFERENCE.

BEING A PORTION OF THE SAME WATER EASEMENT, CONVEYED TO THE CITY OF CONCORD IN MAP BOOK 101, AT PAGES 48-61, CABARRUS COUNTY.

2. The Mayor, City Clerk, and Staff are hereby authorized to execute the necessary documents in order to affect the abandonment of the stated water and electric easements.

3. This resolution shall be effective upon passage.

Adopted this _____ Day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William "Bill" Dusch, Mayor

ATTEST:

Kim J. Deason, City Clerk

**SECOND AMENDMENT TO
SECTION 8 PROJECT-BASED VOUCHER PROGRAM
PBV HOUSING ASSISTANCE PAYMENTS CONTRACT
(Villas at Logan Gardens)**

THIS SECOND AMENDMENT (this “Amendment”) entered into as of June __, 2025, by and between **Logan Gardens LLC** (the “Owner”) and the **City of Concord Housing Department** (“PHA”), together referred to herein as the “Parties.”

Background

A. The Parties entered into that certain Section 8 Project-Based Voucher Program Housing Assistance Payments Contract for New Construction or Rehabilitation, effective March 11, 2011 (the “Original HAP Contract”) providing forty-four (44) project-based vouchers to a project located in the City of Concord, North Carolina known as Villas at Logan Gardens (“Project”).

B. The Original HAP Contract was amended, restated, and extended by an Amended, Restated and Extended HAP Contract as authorized by that certain First Amendment to Section 8 Project-Based Voucher Program PBV Housing Assistance Payments Contract effective as of April 11, 2024, which amendment also documented extension of the term of the Original HAP Contract and to provided written notice of the PHA to the Owner of rent redetermination for the period starting March 11, 2024 (as amended and restated, the “HAP Contract”).

C. The Parties desire to further amend the HAP Contract to (1) reduce the number of HAP Contract units, (2) replace Exhibit A to the HAP Contract to clarify the HUD requirements for elderly families, revise the HAP Contract unit mix, and include the August 2024 utility allowance adjustment, and (3) replace Exhibit C to the HAP Contract to conform to this Amendment.

NOW THEREFORE, in consideration of the promises and agreements contained herein, and for other good and valuable consideration, the receipt and adequacy of which are hereby acknowledged, the Parties mutually agree and covenant as follows:

1. The foregoing recitals are incorporated herein.
2. Section 1.f.8.a. of the HAP Contract is hereby amended to change the number of contract units from “forty-four (44)” to “forty-two (42)”.
3. Exhibit A and Exhibit C of the HAP Contract are hereby deleted in their entirety and replaced with the respective Exhibit A and Exhibit C attached hereto and incorporated herein.
4. Except as expressly modified herein, the terms of the HAP Contract shall remain in full force and effect and are hereby ratified and confirmed.

5. In the event any provision of this Amendment or the HAP Contract is determined to be void, invalid or unenforceable, such determination shall not affect the remainder of this Amendment or the HAP Contract, which shall continue to be in force.
6. This Amendment may be executed in counterparts, each of which shall be deemed an original, but all of which, together, shall constitute one fully-executed instrument.

(signature page follows)

IN WITNESS WHEREOF, the Parties have duly executed this Amendment by their duly authorized representatives on or as of the date first written above.

PHA:

CITY OF CONCORD HOUSING DEPARTMENT

By: _____

Name:

Title:

OWNER:

LOGAN GARDENS, LLC

By: Logan Gardens Managing Member, LLC
its managing member

By: Douglas NC, LLC
its managing member

By: _____

Name:

Title:

EXHIBIT A

IDENTIFICATION OF UNITS BY SIZE AND INITIAL CONTRACT RENTS

OWNER: Logan Garden, LLC

PROJECT: Villas at Logan Gardens

PROJECT SIZE: 44 Units, 42 of which are PBV units under the HAP Contract

This is a single-stage project containing one two-story, courtyard-style building located at:
210 Booker Drive Southwest
City of Concord, Cabarrus County, North Carolina 28025

The project serves elderly families. Project units that receive HAP Contract rental assistance must consist of a family whose head (including co-head), spouse, or sole member is a person who is at least 62 years of age.

HAP Unit Mix: 31 one-bedroom units
 11 two-bedroom units

Redetermined Rents (effective April 11, 2024 and subsequently adjusted per the August 1, 2024 utility allowance update):

Unit Size (Bdrm)	Contract Rent	Utility Allowance	Gross Rent
1BR	\$1210	\$85	\$1295
2BR	\$1364	\$107	\$1471

Rents shall be redetermined annually pursuant to 24 CFR 983.302.

EXHIBIT C

UTILITIES AVAILABLE TO THE CONTRACT UNITS INCLUDING A LISTING OF UTILITY SERVICES TO BE PAID BY OWNER WITHOUT ADDITIONAL CHARGE TO TENANTS

- Total of 42 contract units at property.
- Owner pays the cost of water, sewer, and trash for all common areas and residential units.
- Tenants pay the cost of electricity (heating/cooling/cooking/hot water).



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
Coltrane-Webb/Beverly Hills Elementary School
Replacement
PROJECT NAME: 2025-004
PROJECT NUMBER: Cabarrus County Schools
DEVELOPER: Site
FINAL CERTIFICATION - LOT NUMBERS: Sewer
INFRASTRUCTURE TYPE: Thursday, June 12, 2025
COUNCIL ACCEPTANCE DATE: Friday, June 12, 2026
ONE-YEAR WARRANTY DATE:

Sanitary Sewer Infrastructure	Quantity
8-inch in LF	1165.00
Manholes as EA	15



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: Cabarrus County EMS Headquarters
PROJECT NUMBER: 2021-045
DEVELOPER: Cabarrus County Administration
FINAL CERTIFICATION - LOT NUMBERS: Site
INFRASTRUCTURE TYPE: Water
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Water Infrastructure	Quantity
4-inch in LF	8.00
4-inch Valves	2
8-inch in LF	22.00
8-inch Valves	2



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: Old Charlotte Road Waterline Replacement
PROJECT NUMBER: 2023-042
DEVELOPER: City of Concord - Water Resources
FINAL CERTIFICATION - LOT NUMBERS: Waterline Replacement/RW
INFRASTRUCTURE TYPE: Water
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Water Infrastructure	Quantity
14-inch in LF	1474.00
14-inch Valves	3
Hydrants	2



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: Christenbury Village Phase 4 (Mixed use Lots 1 & 3)
PROJECT NUMBER: 2021-035C
DEVELOPER: MPV Properties
FINAL CERTIFICATION - LOT NUMBERS: Bldg 1 lot 1
INFRASTRUCTURE TYPE: Water
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Water Infrastructure	Quantity
4-inch in LF	15.00
4-inch Valves	2



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: R. Brown McAllister STEM Elementary School
PROJECT NUMBER: 2022-022
DEVELOPER: Cabarrus County Schools
FINAL CERTIFICATION - LOT NUMBERS: Site
INFRASTRUCTURE TYPE: Water
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Water Infrastructure	Quantity
8-inch in LF	126.00



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: Charlotte Motor Speedway Road Course
PROJECT NUMBER: 2023-016
DEVELOPER: Charlotte Motor Speedway, LLC
FINAL CERTIFICATION - LOT NUMBERS: Site
INFRASTRUCTURE TYPE: Water
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Water Infrastructure	Quantity
8-inch in LF	157.00
8-inch Valves	3



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: Hwy 24-27 Midland Crossroads Sewer
PROJECT NUMBER: 2020-043
DEVELOPER: Town of Midland
FINAL CERTIFICATION - LOT NUMBERS: Site
INFRASTRUCTURE TYPE: Sewer
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Sanitary Sewer Infrastructure	Quantity
8-inch in LF	3478.00
Manholes as EA	13



MEMORADUM

DATE: Friday, June 13, 2025
 TO: Jackie Deal, Director of Engineering
 FROM: Veronika Galitsky, Const. Mgr.
 SUBJECT: Roadway Acceptance
 PROJECT NAME: Oaklawn Townhomes (PH 1 MPs 1 and 2; PH2; PH3)
 PROJECT NUMBER: 2020-012
 DEVELOPER: Oaklawn Project I, LLC
 COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
 ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Street	Length in LF	ROW in FT	Plat
Oaklawn Blvd.	1877.23	50.00	PH 1 MP 1&2; PH 2;PH 3
Mack Way	201.82	50.00	PH 1 MP 1&2
Lilles Way	305.22	60.00	PH 2
Bridgeford Drive NW	169.27	50.00	PH 2
Violets Dream	976.10	50.00	PH 2; PH 3
Total	3529.64		



MEMORADUM

DATE: Friday, June 13, 2025
TO: Jackie Deal, Director of Engineering
FROM: Veronika Galitsky, Construction Manager
SUBJECT: Infrastructure Acceptance
PROJECT NAME: Travis Ln. Sewer Extension
PROJECT NUMBER: 2024-057
DEVELOPER: City of Concord - Water Resources
FINAL CERTIFICATION - LOT NUMBERS: Site
INFRASTRUCTURE TYPE: Water and Sewer
COUNCIL ACCEPTANCE DATE: Thursday, June 12, 2025
ONE-YEAR WARRANTY DATE: Friday, June 12, 2026

Sanitary Sewer Infrastructure	Quantity
8-inch in LF	514.00
Manholes as EA	3

The Big E- The Elephant in the Room
Life Changers, Inc.
794 Bartram Avenue
Concord, NC 28025
(631) 245-7716
info@thebigelifechangers.org
(EIN-87-2943433)



RE: REQUEST FOR SPONSORSHIP

The Big E-The Elephant in the Room Life Changers, Inc.
794 Bartram Avenue
Concord, NC 28025
(631) 245-7716
info@thebigelifechangers.org
April 29, 2025

Hello Mayor William C. Dusch,

Hope all is well. The Big E-The Elephant in the Room Life Changers, Inc. (EIN-87-2943433) nonprofit organization in Cabarrus County, North Carolina, has been extremely busy these last few months. In the beginning of 2025, The Big E staff has completed QPR training to help prevent suicide. We have also partnered with NAMI – Sharing Hope Initiative to provide more direct Mental Health support in the community. The Big-E's goal is to continue to identify silent holes left unacknowledged in our local community and begin engaging with and assisting individuals and families that lacked adequate support.

Begun in 2021, it is our mission to fill the gaps that lack awareness, support, and resources in the community. We do this by organizing events to raise awareness, partnering with local resources to support and connect identified vulnerable and at-risk individuals within our community, such that no one falls through the cracks.

The Big E has developed a “*Youth Uplifting*” initiative 2 years ago, targeting 70% of children in Concord, North Carolina from 18 yrs old and younger. We want to target this age group and focus on issues dealing with bullying, depression, anxiety and stress. We have partnered with Social Works in Cabarrus County Schools to identify these children. Our partnerships include Molina Healthcare, Cabarrus Health Alliance, Daymark Recovery Services, Mental Health America of the Carolinas, NamiCabarrus, Family Victory Counseling and United Way of Greater Charlotte. Our goal is to create resources, support and awareness.

Since our organization has been established we have provided support to over 1300 families. This impact included providing fresh produce to children in 11 schools in Concord, NC. As we move forward in 2025 we will continue to provide resources to children in Cabarrus County. This year our goal is \$25,000. Funds will be used to expand resources and for community events of our existing programs. This includes providing individuals and/or families, fresh and healthy foods, education and tuition assistance, apparel, mental health services, financial assistance, and memberships for fit and healthier lifestyles.

We also wish to continue with our successful events of this year 2025; Cabarrus County's 3rd Annual Suicide Awareness 5K Walk/Run (this event made our local news station), and Healthy Food Harvest and Back to School. We kindly request a monetary donation of \$1,500 to reach our goal or any in-kind support (non-monetary donation) that you can provide. Our organization relies on support from generous donors such as you. Your support would be invaluable and greatly appreciated. To express our gratitude, we would be pleased to acknowledge your contributions on our website, social media platforms, etc.

We thank you for your consideration of our request and look forward to hearing from you. Please visit our website <https://www.eitrlifechangers.org/>. Here, you can make your donation and learn more about The Big E-The Elephant in the Room, Life Changers, Inc. Thanks in advance for your support and contributions. Please open the attached document, this will give insight on how we love to change lives!

Sincerely,

1 Meilssa Dixon
Founder, Executive Director

Bowl for a Cause (Autism)

, April 27, 2024



Suicide Awareness 5K Run

September 16, 2024



Harvest Day

November 23, 2024



C.C Griffin Middle School – Holiday Cheer

December 20, 2024



AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June, 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		(Decrease) Increase
		Current Budget	Amended Budget	
100-4370000	Fund Balance Appropriated	6,090,830	6,092,330	1,500
Total				<u>1,500</u>

Account	Title	<u>Expenses/Expenditures</u>		(Decrease) Increase
		Current Budget	Amended Budget	
4190-5470043	Golf Tournaments	22,885	24,335	1,500
Total				<u>1,500</u>

Reason: To appropriate Mayor Golf Tournament reserves for a donation to The Big E- The Elephant in the Room Life Changers, Inc. to assist with community Suicide Awareness 5K Walk/Run in Cabarrus County, Back to School and the Healthy Food Harvest.

Adopted this 12th day of June 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

GRANT PROJECT ORDINANCE
American Rescue Plan Fund

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following grant project ordinance is hereby amended:

SECTION 1. The project authorized is various projects funded by the American Rescue Plan Funds.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the completion of the projects:

		<u>Revenues</u>		
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
330-4361000	Investment Earnings	217,415	237,109	19,694
330-4354000	Other Income	0	1,362	1,362
Total				<u>21,056</u>

SECTION 4. The following amounts are appropriated for the project:

		<u>Expenses/Expenditures</u>		
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
3300-5811082	Future Projects	217,415	0	(217,415)
3300-5982100	Transfer to MSD	0	55,000	55,000
3300-5987000	Transfer to Project	2,338,835	2,522,306	183,471
Total				<u>21,056</u>

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adoption, copies of this grant projects ordinance shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

ORD.

GRANT PROJECT ORDINANCE
FY 2025 CAPITAL FUND GRANT
PROJECT NC19P00850125

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following grant project ordinance is hereby ordained:

SECTION 1. The project authorized is the Capital Fund grant, which is a program to assist the Housing Department in carrying out development, capital and management activities in order to ensure that the program continues to service low-income families.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation of the project within terms of a grant agreement with the U.S. Department of Housing and Urban Development.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the project:

2025 CFP Revenue	692-4703313	496,950
	692-4703313	

SECTION 4. The following amounts are appropriated to the project:

General Capital Activity	9225-5800290	385,355
	9225-5800290	
Operations	9225-5800250	111,595
	9225-5800250	
Total		496,950

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such a manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adopted, copies of this grant project amendment shall be filed with the City Manager, Finance Director, and City Clerk for directions in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William Dusch, Mayor

ATTEST: _____

Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
680-4356000	Contra-Credit Cards	(200,000)	(230,000)	(30,000)
680-4401309	Fuel Sales/Jet A	7,418,279	7,768,279	350,000
680-4351000	Sale of Fixed Assets	0	10,650	10,650
680-4354000	Other Income	0	30,000	30,000
680-4401380	Ramp Fees	250,000	375,000	125,000
680-4406000	Retained Earnings Appr	1,027,848	2,122,038	1,094,190
680-4401365	Airline Operation Fees	260,000	345,000	85,000
Total				<u>1,664,840</u>

Account	Title	<u>Expenses/Expenditures</u>		
		Current Budget	Amended Budget	(Decrease) Increase
4530-5272000	Jet A Purchases	5,483,574	5,833,574	350,000
4530-5351000	Maintenance – Buildings	222,010	522,010	300,000
4530-5194000	Contract Services	804,830	1,554,830	750,000
4530-5904000	Cost Alloc – Finance	95,130	157,829	62,699
4530-5987000	Transfer to Project Fund	93,000	295,141	202,141
Total				<u>1,664,840</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
650-4354000	Other Income	12,797	37,797	25,000
650-4401201	Green Fees	1,296,500	1,496,500	200,000
650-4401203	Driving Range	162,500	232,525	70,025
650-4401204	Resident Card City	59,500	79,500	20,000
650-4404110	Pro-Shop	237,293	297,293	60,000
650-4404120	Food and Beverages	291,512	441,512	150,000
650-4406000	Retained Earnings Appr	77,617	0	(77,617)
Total				<u>447,408</u>

Account	Title	<u>Expenses/Expenditures</u>		
		Current Budget	Amended Budget	(Decrease) Increase
7501-5194100	RRGC Contract Srvcs	1,099,933	1,342,316	242,383
7501-5210010	RRGC Operating Exp	1,197,641	1,397,641	200,000
7501-5904000	Cost Alloc – Finance	7,624	12,649	5,025
Total				<u>447,408</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
201-4501330	Transfr fm Amer Resc Plan	0	55,000	55,000
201-4370000	Fund Balance Appropriated	5,472	103,369	97,897
Total				<u>152,897</u>

Account	Title	<u>Expenses/Expenditures</u>		
		Current Budget	Amended Budget	(Decrease) Increase
5000-5121000	Regular	160,941	170,941	10,000
5000-5285000	Special Events	16,060	71,060	55,000
5000-5451000	Insurance – Prop & Gen Liab	1,209	1,527	318
5000-5470024	Incentive Grants	0	83,826	83,826
5000-5904000	Cost Alloc – Finance	5,694	9,447	3,753
Total				<u>152,897</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		Amended Budget	(Decrease) Increase
		Current Budget			
211-4702600	FSS Escrow Forfeitures	0		50,876	50,876
Total					50,876

Account	Title	<u>Expenses/Expenditures</u>		Amended Budget	(Decrease) Increase
		Current Budget			
2110-5422000	Rec Publication Other	0		50,876	50,876
Total					50,876

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
215-4703211	EHV Admin Fees	0	27,700	27,700
215-4703210	Emergency Vouchers HAP	0	257,707	257,707
Total				<u>285,407</u>

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
2150-5181000	FICA	0	600	600
2150-5182000	Retirement – General	0	1,000	1,000
2150-5183000	Group Insurance	0	1,500	1,500
2150-5187000	401K Contribution	0	400	400
2150-5411000	Administrative Salaries	0	7,000	7,000
2150-5471506	EHV HAP Expenses	0	274,207	274,207
2150-5419090	EHV Admin Fees	0	700	700
Total				<u>285,407</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
690-4353100	Insurance Reimbursement	0	4,808	4,808
690-4501400	Transfer from Cap Project	0	258,896	258,896
690-4603000	Grant Proceeds	0	40,046	40,046
Total				<u>298,942</u>

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
1000-5122000	Overtime	8,000	10,000	2,000
1000-5191000	Accounting/Audit	287	327	40
1000-5192000	Legal Expenses	0	4,800	4,800
1000-5433000	Gas	91,000	96,000	5,000
1000-5432000	Electric	115,000	130,000	15,000
1000-5442000	Materials & Maint Other	125,300	131,267	5,967
1000-5451000	Insurance	33,916	139,962	106,046
1000-5550000	Equipment – Capital	5,967	0	(5,967)
1000-5990001	Approp to Ret Earnings	0	166,056	166,056
Total				<u>298,942</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
600-4406000	Retained Earnings Appr	504,656	135,034	(369,622)
600-4401100	Rates and Charges	5,669,428	5,809,428	140,000
600-4361000	Investment Earnings	0	250,000	250,000
Total				<u>20,378</u>

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
7100-5492000	Bad Debt Expense	0	16,000	16,000
7100-5352000	Maintenance – Equipment	12,500	22,500	10,000
7100-5451000	Insurance – Prop & Gen Liab	69,685	28,590	(41,095)
7100-5904000	Cost Alloc – Finance	95,358	158,207	62,849
7100-5121000	Regular	1,568,323	1,668,323	100,000
7100-5182500	OPEB Contributions	0	50,000	50,000
7100-5183000	Group Insurance	210,288	240,288	30,000
7100-5189000	Group Insurance-Retirees	22,766	37,766	15,000
7100-5251000	Motor Fuel & Lubricants	78,130	58,130	(20,000)
7100-5540000	Vehicles – Capital	629,656	592,656	(37,000)
7100-5550000	Equipment – Capital	80,000	210,000	130,000
7100-5990001	Approp to Ret Earnings	295,376	0	(295,376)
Total				<u>20,378</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
610-4343352	Developer Contributions	0	360,013	360,013
610-4351000	Sale of Fixed Assets	0	19,141	19,141
610-4353100	Insurance Reimbursement	35,322	47,396	12,074
610-4354000	Other Income	70,000	440,000	370,000
610-4361000	Investment Earnings	1,000,000	2,500,000	1,500,000
610-4401100	Rates and Charges	98,000,000	98,500,000	500,000
610-4401105	Renewable Resources	500,000	550,000	50,000
610-4403000	Charge Out-Reimbursement	150,000	320,000	170,000
610-4406000	Retained Earnings Appr	18,062,815	12,000,000	(6,062,815)
610-4501400	Transfer from Cap Proj	0	239,000	239,000
610-4603000	Grant Proceeds	0	177,135	177,135
Total				<u>(2,665,452)</u>

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
7200-5451000	Insurance – Prop & Gen Liab	4,635	10,474	5,839
7220-5451000	Insurance – Prop & Gen Liab	24,749	18,716	(6,033)
7230-5451000	Insurance – Prop & Gen Liab	32,626	10,992	(21,634)
7240-5451000	Insurance – Prop & Gen Liab	193,873	89,616	(104,257)
7250-5451000	Insurance – Prop & Gen Liab	8,153	7,370	(783)
7260-5451000	Insurance – Prop & Gen Liab	6,588	3,132	(3,456)
7200-5182500	OPEB Contributions	0	185,000	185,000
7200-5904000	Cost Alloc – Finance	353,671	586,771	233,100
7200-5990002	Approp to Resv-Rate Stblzn	4,500,000	7,000,000	2,500,000
7200-5981500	Transfer to Cap Reserve	5,000,000	7,500,000	2,500,000
7210-5338500	Duke Power – NITSA	4,395,627	3,895,627	(500,000)
7210-5338900	Peak Prepay Natural Gas	24,900,067	19,900,067	(5,000,000)
7220-5299000	Supplies – Departmental	53,420	1,453,420	1,400,000
7230-5121000	Regular	610,001	550,001	(60,000)
7230-5122000	Overtime	10,000	9,305	(695)
7230-5294000	Miscellaneous Pay	13,330	0	(13,330)
7240-5244000	Materials	9,269,460	5,228,959	(4,040,501)
7240-5492000	Bad Debt Expense	0	410,000	410,000
7240-5540000	Vehicles – Capital	821,543	696,543	(125,000)
7260-5122000	Overtime	35,000	15,000	(20,000)
7260-5294000	Miscellaneous Pay	3,702	0	(3,702)
Total				<u>(2,665,452)</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	Revenues	Amended Budget	(Decrease) Increase
		Current Budget		
620-4351000	Sale of Fixed Assets	0	39,900	39,900
620-4341660	Communication Fees	50,000	128,000	78,000
620-4361000	Investment Earnings	1,000,000	1,300,000	300,000
620-4401100	Rates and Charges	27,681,785	28,681,785	1,000,000
620-4406000	Retained Earnings Appr	1,877,133	1,644,792	(232,341)
Total				<u>1,185,559</u>

Account	Title	Expenses/Expenditures	Amended Budget	(Decrease) Increase
		Current Budget		
7330-5451000	Insurance – Prop & Gen Liab	27,996	31,625	3,629
7331-5451000	Insurance – Prop & Gen Liab	29,547	32,401	2,854
7340-5451000	Insurance – Prop & Gen Liab	82,425	63,826	(18,599)
7340-5182500	OPEB Contributions	0	165,000	165,000
7340-5904000	Cost Alloc – Finance	231,570	394,195	152,625
7330-5331000	Utilities	950,240	1,100,240	150,000
7330-5550000	Equipment – Capital	277,812	77,862	(199,950)
7331-5276000	Purchase – Raw Water	396,000	266,000	(130,000)
7331-5277000	Purchase – Finish Water	3,650,000	4,850,000	1,200,000
7331-5331000	Utilities	400,000	550,000	150,000
7331-5558000	Bldgs & Imprv – Capital	374,719	199,719	(175,000)
7340-5540000	Vehicles – Capital	393,359	263,359	(130,000)
7340-5550000	Equipment – Capital	139,000	54,000	(85,000)
7340-5492000	Bad Debt Expense	0	80,000	80,000
7340-5710000	Bond/Debt Principal	1,945,150	1,965,150	20,000
Total				<u>1,185,559</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
640-4406000	Retained Earnings Appr	1,638,937	2,459,533	820,596
640-4401100	Rates and Charges	19,289,853	20,039,853	750,000
640-4351000	Sale of Fixed Assets	0	19,400	19,400
Total				<u>1,589,996</u>

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
7420-5331000	Utilities	11,925,845	13,325,845	1,400,000
7420-5182500	OPEB Contributions	0	75,000	75,000
7420-5451000	Insurance – Prop & Gen Liab	85,337	38,735	(46,602)
7420-5492000	Bad Debt Expense	0	65,000	65,000
7420-5904000	Cost Alloc – Finance	146,564	243,162	96,598
Total				<u>1,589,996</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

CAPITAL PROJECT ORDINANCE
General Capital Projects

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby ordained:

SECTION 1. The projects authorized are various General Capital Projects.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the project:

<u>Revenues</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
430-4501100	Transfer from Gen Fund	13,384,549	14,937,996	1,553,447
430-4501330	Trnsfr fm Amer Resc Pln	338,835	522,306	183,471
430-4361000	Investment Earnings	0	252,252	252,252
Total				1,989,170

SECTION 4. The following amounts are appropriated for the project:

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
8804-5811082	Future Projects	91,869	371,847	279,978
8804-5811293	Solid Waste Shed	1,163,019	1,135,293	(27,726)
8804-5811296	ERP System	1,750,000	3,250,000	1,500,000
8804-5811235	Fiber Network	638,918	692,365	53,447
8804-5811359	Srvy/Strtgc Pln Implmtn	0	183,471	183,471
Total				1,989,170

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adopted, copies of this project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk VaLerie Kolczynski, City Attorney

AN ORDINANCE TO AMEND FY 2024-2025 BUDGET ORDINANCE

WHEREAS, the City Council of the City of Concord, North Carolina did on the 13th day of June 2024, adopt a City budget for the fiscal year beginning July 1, 2024 and ending on June 30, 2025, as amended; and

WHEREAS, it is appropriate to amend the expense/expenditures and the revenue accounts in the funds listed for the reason stated;

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Concord that in accordance with the authority contained in G.S. 159-15, the following accounts are hereby amended as follows:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
800-4603000	Grant Proceeds	0	33,784	33,784
Total				<u>33,784</u>
<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
4200-5121000	Regular	214,646	229,646	15,000
4200-5906000	Cost Alloc – Collections	(570,405)	(585,405)	(15,000)
4215-5121000	Regular	1,091,046	1,181,046	90,000
4215-5122000	Overtime	25,285	55,285	30,000
4215-5186000	Workers Compensation	0	26,124	26,124
4215-5194000	Contract Services	411,625	511,625	100,000
4215-5911000	Cost Alloc – Billing	(2,828,225)	(3,074,349)	(246,124)
4220-5121000	Regular	1,407,628	1,417,628	10,000
4220-5194000	Contract Services	34,345	59,345	25,000
4220-5909000	Cost Alloc – Cust Service	(3,037,463)	(3,072,463)	(35,000)
4230-5121000	Regular	2,321,460	2,271,460	(50,000)
4230-5294000	Miscellaneous Pay	50,576	0	(50,576)
4230-5194000	Contract Services	27,391	127,967	100,576
4230-5540000	Vehicles – Capital	0	33,784	33,784
4250-5121000	Regular	440,702	480,702	40,000
4250-5916000	Cost Alloc – Purchasing	(819,969)	(859,969)	(40,000)
Total				<u>33,784</u>

Reason: To adjust to year end projections

Adopted this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

CAPITAL PROJECT ORDINANCE AMENDMENT

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby ordained:

SECTION 1. The project authorized is the **Airport Projects**.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation of the project within terms of a grant agreement with the Federal Aviation Administration and the N.C. Department of Transportation – Division of Aviation.

SECTION 3. SECTION 3. The following revenues are anticipated to be available to the City of Concord for the project:

		<u>Revenues</u>		
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
451-4357300	Federal Aid	6,445,233	6,445,566	333
451-4501680	Transfer from Aviation	580,912	782,348	201,436
451-4603400	Future Grants	2,755,391	1,478,854	(1,276,537)
451-4361000	Investment Earnings	0	353,892	353,892
Total				(720,876)

Section 4. The following amounts are appropriated for the project

		<u>Expenses/Expenditures</u>		
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
6300-5800441	North Apron Expansion	2,910,834	2,911,167	333
6300-5800442	Hangar TaxiLane Rehab	3,881,848	3,886,863	5,015
6300-5800459	N GA A1 TaxiLane Rehab	63,566	321,081	257,515
6300-5800460	CATEX – Fire Station	20,000	30,000	10,000
6300-5800462	COMM TERM APRON EXP.	3,250	487,645	484,395
6300-5811082	Future Projects	72,284	71,579	(705)
6300-5800726	Fuel Farm	1,701,778	1,742,057	40,279
6306-5986000	Transfer To Aviation	1,020,780	1,088,983	68,203
6309-5800454	North Apron Roadway	370,562	451,560	80,998
6310-5800458	Operations Center	63,091	62,398	(693)
6310-5811082	Future Projects	817,237	1,221,869	404,632
6310-5986000	Transfer to Aviation	630,544	358,447	(272,097)
6311-5800455	Mistywood	1,694,625	22,204	(1,672,421)
6312-5811082	Future Projects	0	168,405	168,405
6313-5700000	Debt Service	1,951,922	1,823,428	(128,494)
6313-5800457	Vehicle Gate Replacement	180,000	0	(180,000)
6313-5811082	Future Projects	0	13,759	13,759
Total				(720,876)

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adopted, copies of this grant project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to

the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this the 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

Valerie Kolczynski, City Attorney

ORD.

CAPITAL PROJECT ORDINANCE
Electric Projects

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby ordained:

SECTION 1. The project authorized and amended is Electric Projects.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues/expenditures are anticipated to be available to the City of Concord for the project:

Account	Title	Current Budget	Amended Budget	(Decrease) Increase
473-4343352	Developer Contributions	6,240,250	6,157,700	(82,550)
6949-5801153	Large Truck/Equip Shed	130,500	108,946	(21,554)
6949-5801183	Sub W Project Lilly	6,995,500	6,673,950	(321,550)
6949-5801186	Del #3 Replacements	850,000	871,554	21,554
6949-5984500	Transfer to Electric	0	239,000	239,000

SECTION 4. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 5. Within five (5) days after adopted, copies of this grant project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 6. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 13th day of June, 2024.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

CAPITAL PROJECT ORDINANCE
Fire Projects

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby ordained:

SECTION 1. The project authorized is various fire projects.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the project:

<u>Revenues</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
426-4361000	Investment Earnings	0	5,656	5,656
				<u>5,656</u>

SECTION 4. The following amounts are appropriated for the project:

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
8670-5811082	Future Projects	488,297	572,405	84,108
8670-5811024	Fire Station #10	5,091,919	5,013,467	(78,452)
				<u>5,656</u>

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adopted, copies of this grant project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

CAPITAL PROJECT ORDINANCE AMENDMENT**Parks & Recreation Projects**

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby adopted/amended:

SECTION 1. The projects authorized are the projects included for Various Park Projects

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the completion of the projects:

Account	Title	<u>Revenues</u>		
		Current Budget	Amended Budget	(Decrease) Increase
420-4361003	Interest on Bond Proceeds	0	1,090,301	1,090,301
420-4501280	Transfer fm P&R Reserve	6,251,583	6,427,901	176,318
				<u>1,266,619</u>

SECTION 4. The following amounts are appropriated for the project:

<u>Expenses/Expenditures</u>				
Account	Title	Current Budget	Amended Budget	(Decrease) Increase
8300-5811013	J E Jim Ramseur Park	23,802,587	23,502,587	(300,000)
8300-5811018	McEachern-Hospital Ph	1,270,027	1,341,527	71,500
8300-5811019	Hector Henry-Cannon Crs	738,181	842,999	104,818
8300-5811057	Hartsell Park Improvemnts	937,668	1,237,668	300,000
8300-5811082	Future Projects	18,289	1,108,590	1,090,301
Total				<u>1,266,619</u>

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the project agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adoption, copies of this capital projects ordinance

shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy and shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

Valerie Kolczynski, City Attorney

ORD.

PARKS & CAPITAL RESERVE FUND ORDINANCE
AMENDED

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 18-22 Chapter 159 of the General Statutes of North Carolina, the following Capital Reserve Fund ordinance is hereby amended:

SECTION 1. The purpose authorized is to accumulate funds for future capital projects and capital outlay. Funds will be accumulated until such time the City Council designates the funds for projects or capital outlay. These funds may only be designated for projects that are listed in the City’s Capital Improvement Plan or capital outlay approved in the City’s operating budget ordinance. The General Fund will serve as the funding source for the Capital Reserve Fund upon City Council approval and withdrawals must be approved by City Council through an ordinance.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the project/projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues & expenditures are anticipated to be available to the City of Concord for this fund:

Account	Title	Current Budget	Amended Budget	(Decrease) Increase
8100-5987000	Transfer to Proj Fund	2,480,000	2,656,318	176,318
8100-5811082	Future Projects	1,335,428	1,159,110	(176,318)

SECTION 4. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the capital reserve fund and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 5. Within five (5) days after adopted, copies of this capital reserve fund amendments/adoption shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out the purpose of this fund.

SECTION 6. The Finance Director is directed to report on the financial status of this fund in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

VaLerie Kolczynski, City Attorney

ORD.

CAPITAL PROJECT ORDINANCE
Utility Project Reserves

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby ordained:

- SECTION 1. The project authorized and amended is utility project reserves.
- SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the project/projects within the terms of the plans and specifications for the projects. The purpose authorized is to accumulate funds for future projects and capital outlay that are listed in the Capital Improvement Plan listing or the City’s Operating Budget. Funds will be accumulated until such time the City Council designates the funds for projects. The Electric/Water/Wastewater Funds will serve as the funding source for the Utility Capital Reserve Fund upon City Council approval and withdrawals must be approved by City Council through an ordinance.

SECTION 3. The following revenues/expenditures are anticipated to be available to the City of Concord for the project:

Account	Title	Current Budget	Amended Budget	(Decrease) Increase
282-4501610	Transfer from Electric	\$13,340,897	\$15,840,897	\$2,500,000
8120-5811081	Future Elec Projects	\$14,229,316	\$16,729,316	\$2,500,000

- SECTION 4. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the grant agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.
- SECTION 5. Within five (5) days after adopted, copies of this grant project amendment shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.
- SECTION 6. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy. She shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk VaLerie Kolczynski, City Attorney

ORD. #

CAPITAL PROJECT ORDINANCE AMENDMENT
The Grounds Swr Ext Ph 1

BE IT ORDAINED by the City Council of the City of Concord, North Carolina that pursuant to Section 13.2 Chapter 159 of the General Statutes of North Carolina, the following project ordinance is hereby adopted/amended:

SECTION 1. The projects authorized are the projects included for the The Grounds Swr Ext Ph 1 project.

SECTION 2. The City Manager is hereby authorized to proceed with the implementation and amendments of the projects within the terms of the plans and specifications for the projects.

SECTION 3. The following revenues are anticipated to be available to the City of Concord for the completion of the projects:

Revenues

Account	Title	Current Budget	Amended Budget	(Decrease) Increase

SECTION 4. The following amounts are appropriated for the project:

Expenses/Expenditures

Account	Title	Current Budget	Amended Budget	(Decrease) Increase
8402-5801179	The Grounds Swr Ext Ph1	2,574,515	2,181,974	(392,541)
8402-5811082	Future Projects	3,954,932	4,347,473	392,541
Total				0

SECTION 5. Accounting records are to be maintained by the Finance Department of the City of Concord in such manner as (1) to provide all information required by the project agreement and other agreements executed or to be executed with the various parties involved with the project; and (2) to comply with the Local Government Budget and Fiscal Control Act of the State of North Carolina.

SECTION 6. Within five (5) days after adoption, copies of this capital projects ordinance shall be filed with the City Manager, Finance Director, and City Clerk for direction in carrying out this project.

SECTION 7. The Finance Director is directed to report on the financial status of this project in accordance with the existing City policy, and shall also report to the City Manager any unusual occurrences.

Duly adopted by the City Council of the City of Concord, North Carolina this 12th day of June, 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William C. Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

Valerie Kolczynski, City Attorney

CITY OF CONCORD HOUSING DEPARTMENT LOW-RENT PUBLIC HOUSING
PROGRAM COLLECTION LOSSES TRANSFER RESOLUTION

WHEREAS, the Housing Director has submitted a list of Resident's accounts who has moved out of their dwelling units leaving a balance due; and

WHEREAS the Housing Director reports that attempts to collect the amounts have been unsuccessful as of this date; and

WHEREAS, the City Council has determined that the transfer of the delinquent accounts can be transferred to collection losses due to unsuccessful attempts to make collections.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Concord does hereby approve the transfer of delinquent accounts for the Low-Rent Public Housing Program to collections losses:

Unit Label	Balance
#00033050-8	\$236.03
#00011046-11	\$1,754.87
#00022024-8	\$698.45
#00011020-2	\$395.29
#00011030-11	\$514.00
#00022016-8	\$137.04
#00022014-11	\$68.89
#00033035-9	\$775.00
#00055010-6	\$139.00
#00055016-7	\$32.00
#00055022-6	\$187.00
#00022046-5	\$12,693.60

Total \$17,631.17

Adopted this 12th day of June, 2025

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

ATTEST: _____
VaLerie Kolczynski, City Attorney

CITY OF CONCORD HOUSING DEPARTMENT
MARKET RATE PROGRAM
COLLECTION LOSSES TRANSFER RESOLUTION

WHEREAS, the Housing Director has submitted a list of Resident's accounts who has moved out of their dwelling units leaving a balance due; and

WHEREAS the Housing Director reports that attempts to collect the amounts have been unsuccessful as of this date; and

WHEREAS, the City Council has determined that the transfer of the delinquent accounts can be transferred to collection losses due to unsuccessful attempts to make collections.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Concord does hereby approve the transfer of delinquent accounts for the Market Rate Program to collections losses:

Unit Label	Balance
#272Vance-2	\$89.73
#160-1	\$900.00

Total \$989.73

Adopted this 12th day of June 2025.

CITY COUNCIL
CITY OF CONCORD
NORTH CAROLINA

William Dusch, Mayor

ATTEST: _____
Kim Deason, City Clerk

ATTEST: _____
VaLerie Kolczynski, City Attorney

Date	Inv #	Cust #	Cust	Amt Billed	Amt Due	ACCOUNT
04/06/2023	ELEC001592	0002013157	CHRISTOPHER HAHN	500.00	500.00	610 4403000
04/21/2023	GEN0008581	0002013170	DAVID MICHAEL MERTZ	3,841.66	3,841.66	4310-5312000
04/21/2023	GEN0008583	0002013171	HEATH CROUCH	1,200.00	1,200.00	4310-5312000
07/11/2023	GEN0008608	0002013197	EMMANUEL DORMETIS	325.00	325.00	100-4354000
07/20/2023	GEN0008612	0002013200	EDDI BOGER	4,500.00	4,500.00	100-2214100
10/27/2023	GEN0008654	0002013228	DOLLAR GENERAL - ZION	1,000.00	1,000.00	100-2214100
11/03/2023	ELMB002308	0002013198	QUALITY ELECTRICAL	634.00	592.50	610-4402950
			QUALITY ELECTRICAL		41.50	610-2216001
11/28/2023	ELEC001626	0002013236	GARY LAWTON	943.64	943.64	610 4403000
11/28/2023	TRPR000067	0002013233	CHARLOTTE REAL	83,214.43	83,214.43	423-4343352
01/25/2024	ELEC001638	0002013253	CHRIS LUCAS	5,000.00	5,000.00	610 4403000
04/03/2024	GEN0008724	0002013265	ROSA & MILTON	175.00	175.00	100-2214100
04/12/2024	GEN0008728	0002005695	MAXINE GARDNER	175.00	175.00	100-2214100
04/18/2024	GEN0008748	0002013270	TD WORKS UNLIMITED	175.00	175.00	100-2214100
04/30/2024	GEN0008750	0002013272	CHARLES SAMUEL	250.00	250.00	100-2214100
05/09/2024	GEN0008751	0002013273	PHAN CO PROPERTY LLC	175.00	175.00	100-2214100
06/21/2024	GEN0008761	0002013280	STRATEGIC PROPERTY	175.00	175.00	100-2214100
06/21/2024	GEN0008762	0002013273	PHAN CO PROPERTY LLC	175.00	175.00	100-2214100
06/21/2024	GEN0008763	0002013281	ARKHAM LLC	175.00	175.00	100-2214100
06/21/2024	GEN0008765	0002013284	STEPHEN ODDO	175.00	175.00	100-2214100
06/21/2024	GEN0008769	0002013292	LORI ANN NEGRON	175.00	175.00	100-2214100
06/21/2024	GEN0008770	0002013293	SOLOMON & CLARK LLC	175.00	175.00	100-2214100
06/21/2024	GEN0008771	0002013282	IH3 PROPERTY NC LP	350.00	350.00	100-2214100
				103,508.73	103,508.73	

Tax Report for Fiscal Year 2024-2025**FINAL REPORT****April****Property Tax Receipts- Munis**

2024 BUDGET YEAR	99,677.20
2023	15,823.71
2022	1,665.31
2021	482.06
2020	347.08
2019	321.84
2018	235.58
2017	172.99
2016	172.99
2015	194.16
Prior Years	1,052.00
Interest	14,639.76
Refunds	
	<hr/>
	134,784.68

Vehicle Tax Receipts- County

2024 BUDGET YEAR	543,394.02
2023	
2022	
2021	
2020	
2019	
2018	
Prior Years	
Penalty & Interest	9,495.86
Refunds	
	<hr/>
	552,889.88

Fire District Tax - County

2024 BUDGET YEAR	5,564.68
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Less: Collection Fee from County

Net Ad Valorem Collections	<hr/>
	693,239.24

423:Vehicle Tag Fee-Transportation Impr Fund	37,992.17
100:Vehicle Tag Fee	154,169.93
630:Vehicle Tag Fee-Transportation Fund	37,992.16
Less Collection Fee - Transit	
Net Vehicle Tag Collection	<hr/>
	230,154.26

Privilege License	3,412.50
Prepaid Privilege Licenses	
Privilege License interest	
Total Privilege License	<hr/>
	3,412.50

Oakwood Cemetery current	3,475.00
Oakwood Cemetery endowment	-
Rutherford Cemetery current	7,475.04
Rutherford Cemetery endowment	3,824.96
West Concord Cemetery current	-
West Concord Cemetery endowment	-
Total Cemetery Collections	<hr/>
	14,775.00

Total Collections	<hr/>
	\$ 941,581.00

Current Year	
Original Scroll	
Levy	
Penalty	
Adjustments	
Public Service	
Levy	
Penalty	
Discoveries/Annex	18,080.22
Discovery Penalty	315.24
Total Amount Invoiced - Monthly	<u>18,395.46</u>
Total Amount Invoiced - YTD	94,458,262.41

Current Year	
Less Abatements (Releases)	
Real	678.53
Personal	
Discovery	
Penalty - all	
Total Abatements	<u>678.53</u>

Adjusted Amount Invoiced - monthly	17,716.93
Adjusted Amount Invoiced - YTD	93,837,627.05

Current Levy Collected	99,677.20
Levy Collected from previous years	20,467.72
Penalties & Interest Collected	14,639.76
Current Month Write Off - Debit/Credit	-
Total Monthly Collected	<u>134,784.68</u>
Total Collected - YTD	93,229,219.01

Total Collected - net current levy -YTD	92,804,589.47
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Percentage of Collected -current levy	98.90%
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Amount Uncollected - current year levy	1,033,037.58
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Percentage of Uncollected - current levy	1.10%
--	-------

100.00%

CITY OF CONCORD**Summary of Releases, Refunds and Discoveries for the Month of April 2025****RELEASES**

CITY OF CONCORD	\$	678.53
CONCORD DOWNTOWN	\$	-

REFUNDS

CITY OF CONCORD	\$	104,911.81
CONCORD DOWNTOWN	\$	1,104.67

DISCOVERIES**CITY OF CONCORD**

TaxYear	Real	Personal	Total	Rate	Calculated	Penalties
2019	0	0	0	0.0048	0.00	0.00
2020	0	0	0	0.0048	0.00	0.00
2021	0	0	0	0.0048	0.00	0.00
2022	0	32,812	32,812	0.0048	157.50	51.42
2023	2,384,226	70,149	2,454,375	0.0048	11,781.00	85.38
2024	1,154,420	307,894	1,462,314	0.0042	6,141.72	178.44
2025	0	0	0	0.0042	0.00	0.00
Total	3,538,646	410,855	3,949,501		\$ 18,080.22	\$ 315.24

DOWNTOWN

TaxYear	Real	Personal	Total	Rate	Calculated	Penalties
2019	0	0	0	0.0023	0.00	0.00
2020	0	0	0	0.0023	0.00	0.00
2021	0	0	0	0.0023	0.00	0.00
2022	0	0	0	0.0023	0.00	0.00
2023	0	0	0	0.0023	0.00	0.00
2024	20,484	0	20,484	0.0016	32.77	3.28
Total	20,484	0	20,484		\$ 32.77	\$ 3.28

City of Concord
Portfolio Holdings
Monthly Investments to Council
Report Format: By Transaction
Group By: Security Type
Average By: Cost Value
Portfolio / Report Group: All Portfolios
As of 4/30/2025

Description	CUSIP/Ticker	Face Amount/Shares	Cost Value	Maturity Date	YTM @ Cost	% of Portfolio	Settlement Date	Cost Price	Days To Maturity
Commercial Paper									
CP NATIXIS NY 0 5/9/2025	63873JS92	5,000,000.00	4,872,394.44	5/9/2025	4.577	1.06	10/15/2024	97.447889	9
CP TORONTO DOMINION BANK 0 5/16/2025	89119ASG4	5,000,000.00	4,871,775.00	5/16/2025	4.577	1.06	10/21/2024	97.4355	16
CP BNP PARIBAS NY 0 5/23/2025	09659BSP6	5,000,000.00	4,832,995.85	5/23/2025	4.624	1.05	8/27/2024	96.659917	23
CP SALVATION ARMY 0 6/3/2025	79583RT3	5,000,000.00	4,872,227.78	6/3/2025	4.474	1.06	11/4/2024	97.444556	34
CP TOYOTA MTR CR CORP 0 6/6/2025	89233GT63	5,000,000.00	4,836,358.35	6/6/2025	4.528	1.05	9/10/2024	96.727167	37
CP ROYAL BANK OF CP 0 7/18/2025	78013VUJ9	5,000,000.00	4,851,638.89	7/18/2025	4.493	1.06	11/15/2024	97.032778	79
CP MUFG BK LTD NY 0 8/22/2025	62479LVN2	5,000,000.00	4,840,008.33	8/22/2025	4.525	1.06	12/2/2024	96.800167	114
CP CREDIT AGRICOLE CIB NY 0 9/12/2025	22533TWC6	5,000,000.00	4,837,813.89	9/12/2025	4.537	1.06	12/20/2024	96.756278	135
CP PURE GROVE FDG 0 10/14/2025	74625TXE1	5,000,000.00	4,843,638.90	10/14/2025	4.470	1.06	1/27/2025	96.872778	167
TOYOTA CREDIT PR 0 11/14/2025	8923AOYE7	5,000,000.00	4,877,525.00	11/14/2025	4.367	1.06	4/21/2025	97.5505	198
Sub Total / Average Commercial Paper		50,000,000.00	48,536,376.43		4.517	10.59		97.073932	81
FFCB Bond									
FFCB 0.53 9/29/2025-21	3133EMBH4	5,000,000.00	5,000,000.00	9/29/2025	0.530	1.09	9/29/2020	100	152
FFCB 1.21 12/22/2025-22	3133ENHU7	5,000,000.00	5,000,000.00	12/22/2025	1.210	1.09	12/22/2021	100	236
FFCB 4.625 3/5/2026	3133EP4K8	5,000,000.00	4,999,610.20	3/5/2026	4.628	1.09	3/22/2024	99.992204	309
FFCB 0.625 6/16/2026-21	3133EMKV3	5,000,000.00	5,000,000.00	6/16/2026	0.625	1.09	12/17/2020	100	412
FFCB 4.75 9/1/2026	3133EPUW3	5,000,000.00	4,971,300.00	9/1/2026	4.961	1.08	9/22/2023	99.426	489
FFCB 0.94 9/28/2026-22	3133EM6E7	5,000,000.00	5,000,000.00	9/28/2026	0.940	1.09	9/28/2021	100	516
FFCB 1.55 3/30/2027-23	3133ELUN2	5,000,000.00	5,000,000.00	3/30/2027	1.550	1.09	3/30/2020	100	699
FFCB 4.48 4/6/2027-26	3133ERRR8	5,000,000.00	4,995,500.00	4/6/2027	4.525	1.09	1/10/2025	99.91	706
FFCB 4.58 8/27/2027-25	3133ERRA1	5,000,000.00	5,000,000.00	8/27/2027	4.580	1.09	8/27/2024	100	849
FFCB 4.4 10/4/2027-25	3133ERVZ1	5,000,000.00	5,000,000.00	10/4/2027	4.400	1.09	10/4/2024	100	887
FFCB 1.4 3/10/2028-22	3133EMSW3	5,000,000.00	5,000,000.00	3/10/2028	1.400	1.09	3/10/2021	100	1,045
FFCB 1.5 3/23/2028-22	3133EMUB6	5,000,000.00	5,000,000.00	3/23/2028	1.500	1.09	3/23/2021	100	1,058
FFCB 1.04 1/25/2029-22	3133EMNL2	5,000,000.00	4,986,250.00	1/25/2029	1.076	1.09	2/16/2021	99.725	1,366
FFCB 1.55 3/15/2029-22	3133EMXS1	5,000,000.00	4,960,000.00	3/15/2029	1.658	1.08	3/24/2021	99.2	1,415
FFCB 4.52 4/9/2030-26	3133ETCF2	5,000,000.00	5,000,000.00	4/9/2030	4.520	1.09	4/9/2025	100	1,805
FFCB 4.37 4/16/2030-27	3133ETDA2	5,000,000.00	5,000,000.00	4/16/2030	4.370	1.09	4/22/2025	100	1,812
Sub Total / Average FFCB Bond		80,000,000.00	79,912,660.20		2.654	17.43		99.891365	860
FHLB Bond									
FHLB 0 6/20/2025	313385HC3	5,000,000.00	4,864,730.55	6/20/2025	4.296	1.06	10/30/2024	97.294611	51
FHLB 0.4 7/15/2025-21	3130AKM29	5,000,000.00	4,999,000.00	7/15/2025	0.405	1.09	1/29/2021	99.98	76
FHLB 0.5 10/20/2025-21	3130AKNK8	5,000,000.00	4,999,000.00	10/20/2025	0.504	1.09	1/20/2021	99.98	173
FHLB Step 12/30/2025-21	3130AKLH7	5,000,000.00	5,000,000.00	12/30/2025	0.636	1.09	12/30/2020	100	244
FHLB Step 1/29/2026-21	3130AKRA6	5,000,000.00	5,000,000.00	1/29/2026	1.002	1.09	1/29/2021	100	274
FHLB 0.53 2/17/2026-21	3130AKWS1	5,000,000.00	4,995,000.00	2/17/2026	0.550	1.09	2/17/2021	99.9	293
FHLB 0.8 3/10/2026-21	3130ALFS8	5,000,000.00	5,000,000.00	3/10/2026	0.800	1.09	3/10/2021	100	314
FHLB Step 4/29/2026-21	3130ALZA5	5,000,000.00	5,000,000.00	4/29/2026	1.432	1.09	4/29/2021	100	364
FHLB 1 5/26/2026-23	3130AMME9	5,000,000.00	4,769,250.00	5/26/2026	4.356	1.04	12/20/2024	95.385	391
FHLB 4.36 10/15/2026-25	3130B3BS1	5,000,000.00	5,000,000.00	10/15/2026	4.360	1.09	10/15/2024	100	533
FHLB 4.4 11/13/2026-25	3130G3PG2	5,000,000.00	5,000,000.00	11/13/2026	4.400	1.09	11/18/2024	100	562
FHLB 3.86 12/18/2026-25	3130B2W68	4,985,000.00	4,985,000.00	12/18/2026	3.860	1.09	9/30/2024	100	597
FHLB 4.375 1/8/2027-26	3130B4GP0	5,000,000.00	5,000,000.00	1/8/2027	4.375	1.09	1/8/2025	100	618
FHLB 4.35 2/12/2027-26	3130B4Y88	5,000,000.00	4,993,750.00	2/12/2027	4.416	1.09	2/14/2025	99.875	653
FHLB 4.45 5/27/2027-25	3130B5PC6	4,900,000.00	4,900,000.00	5/27/2027	4.450	1.07	4/4/2025	100	757

FHLB 0.825 8/17/2027-21	3130AJXH7	5,000,000.00	4,986,250.00	8/17/2027	0.866	1.09	8/28/2020	99.725	839
FHLB 4.8 7/24/2028-25	3130B4GL9	5,000,000.00	5,000,000.00	7/24/2028	4.800	1.09	1/24/2025	100	1,181
FHLB 4.45 12/4/2028-26	3130B3XH1	5,000,000.00	5,000,000.00	12/4/2028	4.450	1.09	12/4/2024	100	1,314
FHLB 4.25 9/10/2029-25	3130B2TX3	5,000,000.00	5,000,000.00	9/10/2029	4.250	1.09	9/23/2024	100	1,594
FHLB 2.32 11/1/2029-22	3130AHEU3	5,000,000.00	5,000,000.00	11/1/2029	2.320	1.09	11/1/2019	100	1,646
Sub Total / Average FHLB Bond		99,885,000.00	99,491,980.55		2.819	21.70		99.619407	625
FHLMC Bond									
FHLMC 0.375 7/21/2025	3137EAEU9	1,315,000.00	1,215,559.70	7/21/2025	3.063	0.27	8/4/2022	92.438	82
FHLMC 0.375 9/23/2025	3137EAEX3	1,570,000.00	1,405,668.10	9/23/2025	4.166	0.31	10/6/2022	89.533	146
FHLMC 0.375 9/23/2025	3137EAEX3	1,010,000.00	893,535.53	9/23/2025	4.694	0.19	11/4/2022	88.468864	146
FHLMC 0.375 9/23/2025	3137EAEX3	560,000.00	504,624.88	9/23/2025	4.156	0.11	12/6/2022	90.111586	146
FHLMC 4.23 3/27/2026	3134HBFLO1	5,000,000.00	5,000,000.00	3/27/2026	4.230	1.09	3/28/2025	100	331
FHLMC 0.8 7/14/2026-21	3134GV5T1	5,000,000.00	5,000,000.00	7/14/2026	0.800	1.09	7/14/2020	100	440
FHLMC 3.75 8/28/2026-25	3134HAHZ9	5,000,000.00	4,966,150.00	8/28/2026	4.095	1.08	8/30/2024	99.323	485
FHLMC 4.25 2/22/2027-24	3134H1SN4	5,000,000.00	4,952,500.00	2/22/2027	4.593	1.08	2/22/2024	99.05	663
FHLMC 2.67 3/25/2027-24	3134GXNM2	5,000,000.00	4,745,882.69	3/25/2027	4.500	1.04	3/25/2024	94.917654	694
FHLMC 4.1 5/20/2027-25	3134GAD91	5,000,000.00	4,977,705.00	5/20/2027	4.290	1.09	11/20/2024	99.5541	750
FHLMC 5.25 6/17/2027-25	3134H12Q5	5,000,000.00	5,000,000.00	6/17/2027	5.250	1.09	6/21/2024	100	778
FHLMC 4.375 6/25/2027-25	3134H13G6	5,000,000.00	4,961,910.00	6/25/2027	4.650	1.08	6/25/2024	99.2382	786
FHLMC 3.5 7/1/2027-25	3134HAPH0	5,000,000.00	4,972,500.00	7/1/2027	3.713	1.08	9/27/2024	99.45	792
FHLMC 4.5 7/9/2027-25	3134H14T7	5,000,000.00	4,967,500.00	7/9/2027	4.736	1.08	7/15/2024	99.35	800
FHLMC 3.375 9/23/2027-25	3134HALQ4	5,000,000.00	4,964,770.00	9/23/2027	3.624	1.08	9/23/2024	99.2954	876
FHLMC 3.625 10/15/2027-25	3134HASE4	5,000,000.00	4,962,500.00	10/15/2027	3.892	1.08	10/15/2024	99.25	898
FHLMC 4.65 11/12/2027-25	3134HAZQ9	5,000,000.00	5,000,000.00	11/12/2027	4.650	1.09	11/14/2024	100	926
FHLMC 4 12/9/2027-25	3134GAL35	5,000,000.00	4,967,900.00	12/9/2027	4.230	1.08	12/9/2024	99.358	953
FHLMC 4.4 12/16/2027-25	3134HAP80	5,000,000.00	4,991,250.00	12/16/2027	4.463	1.09	12/20/2024	99.825	960
FHLMC 4.3 2/4/2028-27	3134HA5M1	5,000,000.00	5,000,000.00	2/4/2028	4.300	1.09	2/4/2025	100	1,010
FHLMC 4.75 2/14/2028-25	3134HA6J7	5,000,000.00	5,000,000.00	2/14/2028	4.750	1.09	2/14/2025	100	1,020
FHLMC 4.125 3/3/2028-26	3134HBBJ9	5,000,000.00	4,981,850.00	3/3/2028	4.255	1.09	3/4/2025	99.637	1,038
FHLMC 4 4/10/2028-26	3134HBGA3	5,000,000.00	4,987,500.00	4/10/2028	4.089	1.09	4/11/2025	99.75	1,076
FHLMC Step 7/10/2029-25	3134HAZ55	5,000,000.00	5,000,000.00	7/10/2029	4.577	1.09	1/13/2025	100	1,532
FHLMC Step 8/20/2029-25	3134HAGE7	5,000,000.00	5,000,000.00	8/20/2029	4.286	1.09	8/20/2024	100	1,573
Sub Total / Average FHLMC Bond		109,455,000.00	108,419,305.90		4.179	23.65		99.098986	848
FNMA Bond									
FNMA 0.5 6/17/2025	3135G04Z3	925,000.00	861,249.00	6/17/2025	2.892	0.19	6/6/2022	93.108	48
FNMA 0.5 6/17/2025	3135G04Z3	1,365,000.00	1,271,599.52	6/17/2025	2.943	0.28	7/7/2022	93.157474	48
FNMA 0.7 7/14/2025-21	3136G4YH0	5,000,000.00	5,000,000.00	7/14/2025	0.700	1.09	7/14/2020	100	75
FNMA 0.55 8/19/2025-22	3136G4H63	5,000,000.00	5,000,000.00	8/19/2025	0.550	1.09	8/19/2020	100	111
FNMA 0.58 8/25/2025-22	3136G4J20	5,000,000.00	5,000,000.00	8/25/2025	0.580	1.09	8/25/2020	100	117
FNMA 0.375 8/25/2025	3135G05X7	920,000.00	839,132.00	8/25/2025	3.521	0.18	9/7/2022	91.21	117
FNMA 0.5 11/7/2025	3135G06G3	1,295,000.00	1,169,555.72	11/7/2025	4.152	0.26	1/5/2023	90.313183	191
FNMA 0.5 11/7/2025	3135G06G3	830,000.00	743,924.04	11/7/2025	4.682	0.16	3/7/2023	89.629402	191
FNMA 0.5 11/7/2025	3135G06G3	885,000.00	815,301.29	11/7/2025	3.719	0.18	4/5/2023	92.12444	191
FNMA 0.57 12/29/2025-21	3135GABS9	5,000,000.00	4,563,350.00	12/29/2025	4.967	1.00	11/17/2023	91.267	243
FNMA 2.125 4/24/2026	3135G0K36	545,000.00	519,466.75	4/24/2026	3.805	0.11	5/3/2023	95.315	359
FNMA 0.75 7/30/2026-20	3136G4D91	1,000,000.00	888,980.00	7/30/2026	5.116	0.19	10/27/2023	88.898	456
FNMA 0.73 10/29/2026-21	3136G46F5	5,000,000.00	5,000,000.00	10/29/2026	0.730	1.09	10/29/2020	100	547
FNMA 4.25 4/9/2027-25	3135GAQU8	5,000,000.00	4,951,479.86	4/9/2027	4.600	1.08	4/9/2024	99.029597	709
FNMA 3.5 9/24/2027-25	3135GAVE8	5,000,000.00	4,932,000.00	9/24/2027	3.997	1.08	10/21/2024	98.64	877
FNMA 0.8 11/4/2027-22	3135GA2L4	5,000,000.00	5,000,000.00	11/4/2027	0.800	1.09	11/4/2020	100	918
FNMA 4.85 1/21/2028-25	3136GA6E4	5,000,000.00	5,000,000.00	1/21/2028	4.850	1.09	1/21/2025	100	996
FNMA 4.32 3/10/2028-25	3136GACR8	5,000,000.00	5,000,000.00	3/10/2028	4.320	1.09	3/10/2025	100	1,045
FNMA 4 4/10/2030-26	3136GAENS	5,000,000.00	4,999,750.00	4/10/2030	4.001	1.09	4/10/2025	99.995	1,806
Sub Total / Average FNMA Bond		62,765,000.00	61,555,788.18		2.841	13.43		98.193993	623
Local Government Investment Pool									
NC CLASS LGIP	NCCLASS	26,039,828.81	26,039,828.81	N/A	4.404	5.68	5/24/2024	100	1

NCCMT LGIP	NCCMT481	3,124,137.33	3,124,137.33	N/A	4.220	0.68	12/31/2005	100	1
Sub Total / Average Local Government Investment Pool		29,163,966.14	29,163,966.14		4.384	6.36		100	1
Money Market									
PINNACLE BANK MM	PINNACLE	21,646,770.33	21,646,770.33	N/A	4.400	4.72	3/31/2019	100	1
Sub Total / Average Money Market		21,646,770.33	21,646,770.33		4.400	4.72		100	1
Treasury Note									
T-Note 0.25 10/31/2025	91282CAT8	5,000,000.00	4,845,689.50	10/31/2025	4.194	1.06	1/10/2025	96.91379	184
T-Note 2.25 11/15/2025	912828M56	5,000,000.00	4,925,075.95	11/15/2025	4.250	1.07	2/7/2025	98.501519	199
Sub Total / Average Treasury Note		10,000,000.00	9,770,765.45		4.222	2.13		97.714105	192
Total / Average		462,915,736.47	458,497,613.18		3.499	100		99.084487	582